

AS PRESENTED



ATTACHMENT 1: MARCH 8, 2022 STAFF REPORT



MEMORANDUM

To: Mayor and City Council
CC: Heather Butkowski, City
Administrator

Date: November 5, 2020
RE: Real Estate Equities Final PUD
application for a Senior
Development at 1795 Eustis Street

Application and Process Summary

The Applicant, Real Estate Equities (REE), is proposing to redevelop the site at 1795 Eustis Street with an age-restricted senior apartment project (“Project”). REE has completed the Concept Plan PUD, and the Development Stage PUD application processes and are now applying for the Final Planned Unit Development (PUD), and alley vacation for the subject Project. In July 2019 REE was granted Development Stage PUD approval with 33 conditions as noted in Resolution #070919B (hereafter referred to as the “Resolution” and provided as Attachment A). Several of the conditions addressed information and materials required to be submitted as part of the Final PUD application. The following analysis is provided to address the completeness of the materials, and to identify any outstanding issues that should be addressed prior to the next City Council meeting.

Application Summary

The Applicant is requesting approval of a Final PUD and to vacate a portion of alleyway on the subject Property. The following summary of the components of each application is provided for information and reference:

- If approved, the Final PUD will:
 - **Rezone the property to PUD.** The PUD zoning district will include specific requirements for use which shall be documented within both the Conditional Use Permit and Development Agreement. PUD zoning specifically allows flexibility from the strict standards of a zoning district. For purposes of the review, the most similar zoning district at this time is the R-3 multiple family, and the proposed PUD seeks flexibility from those standards.
 - **Grant Conditional Use Permit (CUP)** for the use of the property as a senior housing development. The CUP will address use and operations on the site once the building is open and reference the Development Agreement and site construction activities.
 - **Require the execution of a Development Agreement.** A condition of the Final PUD is that the Applicant (Developer) enter into a Development Agreement with the City for construction and development of the Project.
- If approved, a portion of Alleyway will be vacated on the southwestern border of the site.
 - Vacation of the alley will be conditioned on the Applicant granting a new perpetual public ingress and egress easement to Eustis Street.



It should be noted that approval of both the Final PUD and Alley Vacation will be conditioned on the successful closing and purchase of the site by REE. If REE does not purchase the property, then no application shall be approved, acted upon, or recorded.

The following list of attachments are provided to assist in your review of the following staff report and analysis:

- Attachment A: Resolution #070919B
- Attachment B: Draft Conditional Use Permit with Attachments
- Attachment C: Architectural Plan Set dated October 30, 2020
- Attachment D: Civil Site Plan Set (including Landscape Plan) dated October 30, 2020
- Attachment E: Memo from REE regarding Site Construction
- Attachment F: Alley Vacation Application and Exhibit

This staff report is divided into three parts 1) The Final PUD application review; and 2) The request to vacate a portion of alleyway summary, and 3) Next Steps.

1) Final PUD Application

Per Section 10-7-9 Final PUD Approval of the City of Lauderdale code of ordinances, the Final PUD shall include the materials as required per the conditions of the Development Stage PUD approval, and “execute the development contract prepared by the City.” The purpose of the Final PUD stage is to determine compliance with the conditions as noted in the Development Stage PUD approval, and to review and approve a Development Agreement. A Development Agreement is essentially a contract between the City and the Applicant that primarily addresses construction and development activities related to the subject Project. Given the complexity of this project, staff will present the review for completeness based on the conditions contained in Resolution #070919B in this report, with the first draft of the Development Agreement to be presented at the November 24, 2020 City Council meeting.

Conditional Use Permit

Corresponding Resolution Conditions #1, 2, 5, 6, 7, 8, 9, 22, 23, 24, 26, 27

A Conditional Use Permit (CUP) is required for the subject project by the City’s ordinances, which was further detailed in condition numbers 5 and 6 of the Resolution. The CUP primarily addresses post-construction activities related to the use of the site for a senior apartment project. Attachment B of this staff report provides a draft CUP for your review and consideration. A couple items to note as you review the CUP: 1) The conditions applied must be reasonable and correlated with health, safety and welfare of the community; 2) the CUP will be recorded against the property and is not given to the Applicant, which means the CUP will exist into perpetuity regardless of the owner provided the conditions are met; and 3) the CUP focuses primarily on post-construction activities, but addresses and references the construction and

architectural documents. Specific site development and site construction activities will be addressed within the Development Agreement.

Ground Sign, Wall Signs and Naming

Corresponding Resolution Conditions #1, 2, 10

Sheet SD_000 provides an elevation and section of the proposed monument sign (which is defined as a Ground Sign based on the proposed dimensions as defined in Section 10-10-2) and is located on the north side of the entrance driveway to the Project (Attachment C). As denoted the monument sign is approximately 5'6" tall from grade and is approximately 1"4" wide at the base. The sign is approximately 10' wide at its widest point, and the sign area is set on top of a stone-clad base. As denoted the sign is proposed to be internally lit (illuminated), and there is no name identified for the proposed Project.

The rezoning of the property to PUD considers the 'underlying' zoning, which based on the proposed use is most consistent with the City's current R-3 zoning regulations. Applying the sign standards from this district, the sign-face is approximately 29.75 square feet, and there is a total of approximately 66.5 square feet of sign area excluding the base. Section 10-10-4 permits a sign face of a maximum of 32 square feet, with a total sign area not to exceed 100 square feet. Illuminated signs are permitted, but Staff requests some discussion by the City Council regarding the character of this type of sign in its location. Exterior or directed lighting may be more appropriate but is not required since exterior or internally lit signs are permitted. **As proposed, the ground sign meets the City's ordinance requirements for ground signs in the residential zoning districts. If alternate lighting of the sign is preferred, a condition could be added to the Final PUD resolution upon the direction of the City Council.**

Some wall/entry signage is proposed on the canopies on the north elevation. This signage is assumed to be the Project name, but since the name is unknown performing an area calculation is not possible. **Staff would recommend carrying a condition forward to the Final PUD resolution that all proposed wall and entry signage shall be reviewed and approved by City Staff prior to being installed.**

Material Sample Boards

Corresponding Resolution Conditions #1, 2, 12

The Applicant submitted a materials sample board that corresponds to the elevations shown in the Architectural Plan set (Attachment C). The materials depicted include a mix of cement board siding (hardie board, or similar) in a taupe, white and brick red color palette. Generally, the colors identified on the sample board are similar to those identified in the elevations, but the taupe siding color is not as gray as depicted in the renderings. The material identified for the base and foundation is an engineered cement/stone block that identifies a range of light beige with warm browns around the foundation. Accents such as window flashing, door frames, and soffit details are shown as white, consistent with the renderings. All materials shown on the submitted samples have a slight gray undertone. **As depicted, and as submitted, this condition has been met and the colors and materials are consistent with the renderings contained in the Architectural Plan set.**

Landscape Plan, Fencing and Retaining Wall Details

Corresponding Resolution Conditions #1, 2, 14, 15, 16, 17, 18, 19, 20

The Applicant has submitted an updated Landscape Plan which is provided in the attached Civil Plan set (Attachment D) and is identified as sheet L1-1. Condition number 14 required additional boulevard plantings along the Spring Street and Malvern Street frontages. Staff conducted a side-by-side comparison of the Landscape Plan reviewed as part of the Development Stage PUD and determined that 10 additional trees have been provided on the updated plan set, for a total of 24 boulevard street trees to be planted along Malvern, Spring and Eustis Streets. **As proposed, the Applicant's updated submittal meets the conditions as required in the Resolution.**

Condition numbers 15 and 16 address the southern property line of the subject Project, and the intent of the conditions was to ensure adequate screening is provided between the proposed Project and adjacent single-family residential uses. The Landscape Plan has been updated to reflect a mix of both deciduous and conifers along the southwestern portion of the property line, and a 6-foot cedar board-on-board fence is proposed along the southerly property line to achieve 100% opacity at ground level. The fence detail is provided on Sheet SD_000. **As proposed, the Applicant's updated submittal meets conditions 15 and 16 as required in the Resolution.**

Condition number 17 requires the Applicant to provide a 2-year landscape guarantee for all plants shown on Sheet L1-1. This condition should be carried forward and incorporated into the CUP and the Development Agreement. Condition number 18 addresses maintenance and management of the vegetation and fencing along the southern property edge which is intended to provide a buffer between the proposed Project and adjacent single-family residential uses. **A condition that addresses the maintenance and management of landscaping and vegetation along the southern edge has been incorporated into the CUP in Attachment B.**

Condition number 19 requires a \$2,000 escrow be submitted to the City which shall be used solely for off site plantings or fencing along the frontage of 1778 Eustis Street. Since the plantings and/or fencing are off-site, no update to the Landscape Plan is required as part of this condition. **Staff recommends carrying this condition forward and including it within the Development Agreement and the Resolution granting Final PUD.**

Condition number 20 requires additional details regarding hardscape materials be provided, including the retaining walls. A detail regarding the retaining wall is provided on sheet C8-1 of the Civil Plan set which describes the retaining wall materials as a modular block with a cap. While the profile detail looks acceptable, staff believes it is important that the color and material palette of the retaining walls on site is reviewed to ensure consistency with the materials and colors as shown on the submitted Materials Board. **Staff would recommend including a condition in the Final PUD approval that the colors and materials of the retaining wall shall be submitted for review and approval by the City Staff prior to a building permit being issued for the structure.**

Site Security, Development and Construction

Corresponding Resolution Conditions #1, 2, 28, 29

The Applicant provided a brief narrative in response to Conditions 28 and 29, as well as a list of questions provided by City Staff (Attachment E). As noted in the Resolution, the formal plan for site construction, including haul routes and parking must be reviewed and approved by the City Engineer prior to any building permits being granted. However, given concerns and questions from neighbors some preliminary information was provided by the Applicant's General Contractor for the subject Project. As noted in the responses, the construction site will be secured with a 6-foot chain link security fence for the duration of the Project, and the public will not have access to the construction site. **The haul route will be determined in coordination with the City Engineer, and staff recommends including this as a condition within the Final PUD resolution and the Development Agreement.**

Condition #29 addresses potential adverse impact to adjacent single-family residential foundations due to construction activities (i.e. digging of the foundation and underground garage.) As noted within the Applicant's response, their General Contractor does not believe there are any demolition or construction activities that will create enough vibration to adversely impact adjacent properties. **Staff recommends including a condition within the Final PUD and Development Agreement to address the concern of the neighbors since the General Contractor is making some assumptions regarding construction and demolition that cannot be verified until site development and construction begins.**

Adjacent Neighbor Impacts

Corresponding Resolution Conditions #13, 19

Condition number 13 addresses the potential adverse impact to the solar panel installation on the property located at 1801 Eustis Street due to the height of the proposed Project. The condition requires the Applicant to work with the City and the property owner of 1801 Eustis to determine appropriate monetary relief for the impact to the productivity of the solar panels during the winter months. City staff is coordinating this effort and the property owner at 1801 is working with their solar contractor to determine the potential impact. **This condition is in-progress and will be addressed more formally within the draft Development Agreement.**

Condition number 19 requires the Applicant to submit a \$2,000 landscape escrow so that the property owners at 1778 Eustis Street may install either landscaping, fencing or a combination of both to mitigate potential light and glare created by headlights exiting the Project site. **This condition is acknowledged and should be carried forward to the Development Agreement the Final PUD resolution.**

Miscellaneous Conditions

Corresponding Resolution Conditions #18, 30, 31, 32, 33

Conditions 18, 30, 31, 32 and 33 are generally administrative conditions that must be completed prior to execution of the Final PUD and subsequent rezoning. These conditions should be noted and carried forward

to the Final PUD resolution and/or Development Agreement as applicable. **These items are properly addressed with this Final PUD application, and the conditions met provided they are carried forward to the appropriate permit and/or agreement.**

2) Application to Vacate Alley

REE submitted an application for Vacation of the alleyway running generally east-west along the southwestern property line. The vacation materials are attached to this staff report for your review and consideration (Attachment F). The portion of alley to be vacated connects with the north-south alleyway running parallel and between Malvern Street and Eustis Street, and provides access to the single-family homes adjacent and south of the subject Project. Due to the configuration of the proposed development, the Project requires that the access be reconfigured so that the primary access/entrance driveway to the Project is from Eustis Street. The reconfiguration results in the elimination of the alley access from Malvern Street because the structure and side-yard vegetative buffer will occupy this area with the redevelopment of the site. Since neighbors lying south of the subject Project rely on a through-alley to provide adequate access to their properties and detached garages, the new access drive from Eustis Street must provide a public access easement if the existing alleyway is vacated.

This swap, or exchange, in concept was agreed to during the Development Stage PUD process. However, since the existing alleyway is contained within a public right-of-way easement, a formal vacation of this easement area is required. The Applicant's submitted materials are complete, and a Public Hearing to consider the vacation will be held at the regular November 24, 2020 City Council meeting. Notice of the hearing will be posted in the newspaper, and adjacent neighbors will be notified consistent with MN State Statute. It should be noted that any authorization or approval will be conditioned on 1) that the proposed Project is constructed by REE and that they become the fee title owner of the property; 2) that a public access easement is given over the entrance driveway from Eustis Street and that such easement shall connect to the north-south existing alleyway; 3) that the portion of vacated right-of-way shall remain open and accessible to the public until such time that the new access is installed; and 4) that the vacation may not be recorded until the Final PUD and Development Agreement are executed.

3) Next Steps

The next review of the Final PUD and Vacation applications will be held on November 24, 2020. The public hearing will be noticed to solicit public testimony regarding the proposed vacation, and a full analysis by staff will be provided for consideration. Additionally, a draft Development Agreement will be provided for review and consideration by the City Council, which will incorporate any comments or concerns expressed during the November 10, 2020 meeting.

ATTACHMENT A

Council Member Moffatt introduced the following resolution and moved its adoption:

RESOLUTION NO. 070919B

CITY OF LAUDERDALE
COUNTY OF RAMSEY
STATE OF MINNESOTA

A RESOLUTION APPROVING THE DEVELOPMENT STAGE PLANNED UNIT DEVELOPMENT (PUD) AT 1795 EUSTIS STREET TO CONSTRUCT AND OPERATE A SENIOR MULTI-FAMILY HOUSING PROJECT

- A. WHEREAS, the City of Lauderdale is the owner of the property located at 1795 Eustis Street, Lauderdale, Minnesota; and
- B. WHEREAS, the City Council solicited informal proposals from parties interested in redeveloping the subject site with senior housing to meet the goals and objectives of the City's 2040 Comprehensive Plan; and
- C. WHEREAS, Real Estate Equities ("Applicant") prepared and presented a Concept Plan to redevelop the subject site with a 114-unit Senior Housing building on February 26, 2019; and
- D. WHEREAS, on March 19, 2019 the Applicant held an Open House to solicit feedback from the community before submitting their formal Development Stage PUD application; and
- E. WHEREAS, the City Council considered feedback from the Open House and provided comments that were subsequently incorporated into the Development Stage PUD application; and
- F. WHEREAS, on April 24, 2019 the Applicant submitted a complete Development Stage PUD application seeking conditional approval to rezone the subject property to PUD and to preliminarily approve the proposed Senior Housing project; and
- G. WHEREAS, on May 14, 2019 the City Council held a duly noticed public hearing for the subject Project; and
- H. WHEREAS, on May 28, 2019, June 11, 2019 and July 9, 2019 the City Council considered the public testimony and the Development Stage Planned Unit Development;

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Lauderdale, Minnesota, that it does hereby approve the request of Real Estate Equities for Development Stage Planned Unit Development provided that the following conditions are met:

- 1. The Plans submitted by the Applicant on April 24, 2019 are conditionally approved with the changes and updates as noted herein.
- 2. The proposed Project, as detailed and described within the Narrative submitted by the Applicant on April 24, 2019 requesting that Subject Property be rezoned to Planned Unit Development (PUD), is conditionally approved with the conditions as noted herein.
- 3. The Applicant shall submit an application to vacate that portion of the alley running east-to-west along the southern property line and connecting to Malvern Street with the Final PUD application.

ATTACHMENT A

4. Approval of the Final PUD and Rezoning shall be conditioned on the approval of vacating that portion of the alley as described in Condition #3.
5. A Conditional Use Permit (CUP) may be drafted to support the rezoning to PUD and such CUP shall be recorded against the subject property. The CUP may incorporate operational conditions and site conditions that will continue beyond the construction period, which may be noted within the Development Agreement, and such conditions shall be consistent.
6. In conjunction with the requirements of the Development Agreement, the CUP may be drafted to permit the PUD for a Senior Housing use and no other use shall be permitted without an application to amend the CUP.
7. Prior to Final PUD plan approval and rezoning, the Applicant shall provide additional details regarding trash removal. All waste and recycling receptacles are required to be fully enclosed on site, and it is unclear how long the trash and recycling bins are proposed to be un-enclosed on the denoted concrete pad near the parking bay. Details must be provided and documented within an Operations Management Plan which must be reviewed by City Staff to ensure compliance with the City's ordinances.
8. The Development Agreement, and Operations Management Plan, shall provide details regarding snow removal on site. This language shall be reviewed and approved by the City Staff prior to execution of the Development Agreement.
9. The Applicant shall prepare a Parking Plan that shall be incorporated into the CUP and the Development Agreement. The Parking Plan shall describe a process to address the management of resident parking and usage of onsite parking. The Parking Plan shall address how management will respond if the majority of residents are consistently parking on City Streets and not paying for use of the underground parking stalls. The Parking Plan, as well as process to amend it, shall be provided to the City's staff, including City Attorney, who shall review and approve the Parking Plan prior to execution of the Development Agreement.
10. The Applicant shall provide additional detail regarding the monument/entrance sign including proposed lighting. This information shall be submitted with Final PUD application materials.
11. The Applicant shall submit and provide all proposed wall signage, entry signage, or any other proposed naming as part of the Final PUD submittal.
12. The Applicant shall submit and provide a sample board that shows proposed colors and exterior building materials with the Final PUD application materials.
13. The Applicant shall work cooperatively with the City to determine appropriate compensation to the property owner at 1801 Eustis Street. The compensation shall provide monetary relief for the reduction in solar productivity at the winter solstice as a result of the proposed Project. Such agreement and analysis shall be completed and incorporated into the Development Agreement.
14. The Applicant shall update the Landscape Plan to include additional boulevard trees along the north frontage (Spring Street) and the west frontage (Malvern Street). Spacing between trees shall be consistent with the spacing as denoted along Eustis Street that is approximately 45-feet on center. Tree species as denoted including Boulevard Linden and Skyline Honeylocust are acceptable, and based on sheet L1-1 result in approximately 8-10 additional trees added to the landscape plan. Sheet L1-1 shall be updated and submitted with the Final PUD application for review and approval.
15. The Applicant shall update the Landscape Plan to incorporate deciduous trees along the south-west edge which is adjacent to an existing residential property. A minimum of three deciduous trees, Maple or Lindens shall be incorporated. Sheet L1-1 shall be updated and submitted with the Final PUD application for review and approval.

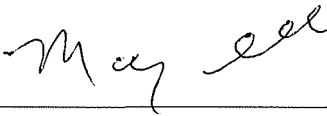
ATTACHMENT A

16. The proposed privacy fence along the south edge of the property which provides screening to adjacent single-family uses, shall be revised to a 6-foot cedar privacy fence (board on board) to achieve 100% opacity and screening between uses. The Applicant shall work with City Staff to identify the location of the fence which shall screen, to the extent possible, the adjacent neighbors. The fence shall be maintained as detailed in the CUP and Development Agreement.
17. The Applicant shall provide a 2-year landscape guarantee for all plants identified on sheet L1-1, and such guarantee shall be included as a condition within the executed Development Agreement.
18. The landscaping and fence along the southern property edge shall be maintained in perpetuity as it provides screening to adjacent single-family uses. If vegetation along the southern edges dies, replacement with the same, or substantially similar vegetative properties shall be planted as soon as possible based on appropriate planting conditions and season.
19. The Applicant shall provide a \$2,000.00 landscape escrow to the City which shall be used solely for off-site plantings or fencing along the frontage at 1778 Eustis Street. The property owners shall select planting or fencing materials to mitigate potential glare/impacts from traffic exiting the proposed Project site.
20. Details regarding hardscape materials including all retaining walls shall be submitted for review and approval during the Final PUD application process.
21. The Applicant shall be required to pay all Park Dedication fees due, which shall be calculated and agreed to through the Final PUD process, prior to release of the building permit.
22. The Operations Management Plan, or any other tool which details the onsite management of the Senior Building including waste management, landscape management, and snow removal, shall be provided to the City for review and approval by City Staff prior to Final PUD plan approval and rezoning.
23. The Applicant shall obtain all necessary permits and approvals from the Rice Creek Watershed District. Such approvals and permits shall include, but not be limited to, the stormwater management plan. The Applicant shall provide a copy of the approved permit prior to commencing any site work.
24. The Applicant shall prepare final construction plans acceptable to the City Engineer prior to commencing any site work.
25. The Applicant shall address and meet all conditions as stated within the City Engineer's memo dated May 10, 2019.
26. The Applicant shall obtain appropriate demolition permits from the City, Ramsey County and the Minnesota Pollution Control Agency (MPCA), and shall follow all rules, procedures and conditions of such permits. Copies of all approved permits shall be provided to the City prior to any site work commencing on site.
27. The Applicant shall obtain a Building Permit prior to the commencement of any site work.
28. The Applicant shall prepare a Construction Management Plan that includes haul routes, site security/fencing, and parking locations which shall be incorporated into the Development Agreement. Such plan shall be developed in coordination with City Staff and shall be approved by the City Engineer prior to obtaining a Building Permit.
29. The Construction Management Plan shall also detail steps to inventory existing conditions, and to ensure adjacent foundations and structures are not adversely impacted by construction activities.

ATTACHMENT A

30. The Applicant shall be required to enter into a Development Agreement which shall be drafted by the City, and its terms generally agreed to by both parties, prior to Final PUD or Rezoning to PUD approval.
31. The Development Agreement shall be required to be executed as a condition of Rezoning to PUD.
32. Rezoning of the subject property to PUD shall be conditioned on the Applicant fulfilling the conditions as noted herein, and upon the approval of the Final PUD and any other instruments including, but not limited to, the TIF agreement.
33. That the Applicant shall replenish and pay all escrow fees and permit fees prior to Final PUD and Rezoning approval.

Dated: July 9, 2019



Mary Gaasch, Mayor

ATTEST:



Heather Butkowski, City Administrator-Clerk

The motion for the adoption of the forgoing resolution was duly seconded by Member Dains and upon vote being taken the following voted in favor thereof: Dains, Grove, Moffatt, and Mayor Gaasch

And the following voted against same: none

Whereupon said resolution was declared duly passed.

ATTACHMENT B

1795 EUSTIS STREET SENIOR APARTMENTS CONDITIONAL USE PERMIT CITY OF LAUDERDALE

APPLICANT: Real Estate Equities

LEGAL DESCRIPTION: Exhibit A

PID: 172923330001

ZONING: PUD

ADDRESS: 1795 Eustis Street
Lauderdale, MN

DATE: February XX, 2020

This is a Conditional Use Permit to allow for the redevelopment, construction, operation and management of a Senior Apartment project (Project) as shown on the Applicant's Architectural and Civil Plan Sets dated October 30, 2020 and within the narrative dated November 6, 2020, which shall be incorporated by reference herein. Any expansion, intensification of operations, or substantive changes from the referenced documents, shall require an amendment to this Conditional Use Permit.

All uses shall be subject to the following conditions and/or restrictions imposed by the City Council, City of Lauderdale, Ramsey County, Minnesota, and applicable ordinances, statutes, or other laws in force within the City:

General Requirements

1. This Permit shall be recorded against the subject property within 30-days of its execution.
2. This Permit shall not be executed until the Applicant, Real Estate Equities, is the fee title owner of the real estate described herein.
3. This subject Project shall be used for age-restricted senior apartment housing for individuals and families that are aged 55-years or older. Any change to the permitted use shall require an amendment to this permit. Use and operations shall be consistent with the Applicant's narrative, identified as Exhibit B of this Permit.
4. The Applicant shall enter into a Development Agreement prior to execution of this Permit.
5. It shall be the responsibility of the Applicant to obtain all necessary permits from Ramsey County, MPCA, Rice Creek Watershed District, or any other agency having jurisdiction over the subject project use.

ATTACHMENT B

6. All escrow amounts shall be brought up to-date prior to execution of this Permit, and all escrow amounts shall be kept current.
7. Any violation of the conditions of this Permit may result in the revocation of said Permit.

Construction and Site Development Activities

8. The building shall be constructed consistent with the Architectural Plan Set dated October 30, 2020. Such plans may require minor updates as recommended by the City's Building Official. Any substantive changes, such as, but not limited to, change of materials, elevation heights, window placement, etc., shall require review and approval of the changes from the City Council.
9. The City Engineer shall review and approve the Civil Site Plan set. The Applicant shall comply with all requirements and recommendations of the City Engineer and submit a revised Civil Site Plan set as required. The final approved Plan Set shall be incorporated by reference herein.
10. The Applicant is responsible for obtaining all necessary permits from the City, Ramsey County, and the MPCA for demolition of the existing school building on site. Such activities shall be coordinated with the City, and the Applicant is required to ensure all environmental protocols are adhered to as part of the demolition process.
11. The Applicant shall follow all site development and construction plans as provided in the Development Agreement.
12. The Applicant shall obtain a Building Permit prior to the commencement of any site work.

Operations and Site Management

13. Site management, including trash removal and snow removal, shall be conducted as detailed in Exhibit C of this Permit.
14. The Applicant shall be responsible for managing resident and visitor parking onsite to the extent possible. Parking shall be managed consistent with the details provided in Exhibit C of this Permit, denoted as Parking Plan.
15. The Applicant shall provide a perpetual public ingress and egress easement that connects Eustis Street to the existing alleyway which runs north-south and parallel to Eustis Street. Such easement document shall be reviewed and approved by the City Attorney.
16. The Applicant shall provide a 2-year landscape guarantee that shall cover all plantings as denoted on Sheet L1-1 of the Civil Site Plan set.
17. The plantings along the southerly property line are intended to provide a buffer between the Project and adjacent single-family uses. Such plantings shall be maintained in good health into perpetuity. If any tree dies, or become diseased, such trees shall be replaced in-kind to maintain the buffer.
18. The Cedar board-on-board fence along the southerly property is intended to provide a buffer between the Project and adjacent single-family uses. The fence shall be maintained and kept in good repair into perpetuity to ensure an adequate buffer is maintained.
19. All operations onsite shall meet the MPCA's noise standards and regulations.

ATTACHMENT B

IN WITNESS WHEREOF, the parties have executed this agreement and acknowledge their acceptance of the above conditions.

CITY OF LAUDERDALE:

Date: _____

Mary Gaasch, Mayor

Date: _____

Heather Butkowski, City Administrator-Clerk

APPLICANT/OWNER:

Real Estate Equities

Date: _____

By: _____

Its: _____

Date: _____

Heather Butkowski, City Administrator-Clerk

State of Minnesota)
)ss.
County of Ramsey)

On this _____ day of _____, 2020, before me, a Notary Public, personally appeared _____ the Owner who acknowledged that said instrument was authorized and executed on behalf of said Applicant.

Notary Public

EXHIBIT A

DRAFT

EXHIBIT B



REAL ESTATE EQUITIES

CUP Application

Lauderdale, MN

Description of Partnership

Real Estate Equities is a full-service real estate firm based in the Twin Cities with a primary focus on multifamily real estate investments. The company was founded by Terry Troy and Bob Bisanz in 1972 with a vision of providing quality rental housing and ownership opportunities that improve communities and provide strong economic returns for their investors. We have been the developer and managing partner in more than 70 projects in excess of 10,000 housing units with projects spanning from Minnesota, Wisconsin, Ohio, Missouri, South Dakota as well as Indiana.

Today, our real estate portfolio consists of approximately 4,309 housing units that range from artist lofts, luxury apartments, traditional apartments, affordable apartments and senior (affordable) apartments. Currently we have a regional portfolio with properties located in Minnesota, Wisconsin and Indiana.

Real Estate Equities Management, LLC has experience in all facets of property management including: Marketing and Lease-up of new and renovated product; Financial Reporting and Controls including exceptional Compliance Administration and Reporting; Resident Relations and Communication programs; Plant Operations including maintenance, housekeeping and repairs; Safety, Security and Emergency Planning; Management of Major Capital Improvement Projects and Restoration of property after fire/water/wind damage; and, management of small scale Commercial Space.

EXHIBIT B

Narrative of Project

The site in Lauderdale is located at 1795 Eustis Street. The parcel is a 1.69 acre site that is well positioned for multifamily with its visibility to downtown Minneapolis, as well as, easy access to two major arteries in the state of Minnesota, such as Highway 94 & Highway 280. The proposed project will consist of 114 senior affordable housing units consisting of both one and two-bedroom units. The proposed use of the project is senior housing, in which the target market will be independent senior citizens residing within and outside of the city of Lauderdale. Escalating rent levels throughout the Twin Cities continues to force Minnesotan seniors into less desirable and lower quality housing options which in turn pushes the demand for this housing need in the City of Lauderdale.

The proposed project will offer housing units at rent levels affordable to residents whose income doesn't exceed 60% of the area median income providing, 15-20% savings to tenants in comparison to other new market rate properties in the Lauderdale area. Additionally, the tenants will have access to several high-quality amenities that include a community room with outdoor patio, fire pit, fitness center, and underground parking. With these savings, amenities, and new landscaping providing connections to the surrounding community this housing project is a \$27,000,000 investment that the City of Lauderdale and its residents can be proud of.

These apartments will be affordable to persons at or below 60% of the area median income (AMI).

EXHIBIT B

Rent Structure:

| <u>Unit Type</u> | <u>Set Aside</u> | <u>SF</u> | <u>Gross Rent</u> | <u>Utility Allowance</u> | <u>Net Rent</u> |
|------------------|------------------|-----------|-------------------|--------------------------|-----------------|
| 1 Bed/1 Bath | FMR | 779 | \$971 | \$78 | \$893 |
| 1 Bed/1 Bath | 60% | 779 | \$1,164 | \$78 | \$1,086 |
| 2 Bed/2 Bath | 60% | 1,140 | \$1,396 | \$95 | \$1,301 |

- Residents can also pay \$75 for parking stalls as well as an additional \$25 for storage.

Project Highlights/Amenities:

Unit Finishes/Amenities: In Unit washer/dryer, solid surface countertops, 9 ft ceilings, full stainless-steel appliance package, low-flow fixtures/LED lighting, High Efficiency HVAC.

Building Amenities: Full on-site management team, secure entrance with Luxor package storage system, community room, rooftop patio, fitness center, office/conference room, underground parking.

Exterior Materials: Masonry, Energy Star Windows, Concrete Fiber Board, Wood Look CFB, Metal Panel Accents.

Project Demand:

- Marquette Advisors Report projects 1,414 additional affordable housing units needed by 2020 in Minneapolis/St. Paul submarket.
- Vacancy rate in Lauderdale is 5.9%.
- Market research indicates that Lauderdale and surrounding Saint Paul areas have notable production shortfalls of affordable senior housing units.

Parking Data:

- West Saint Paul Development (The Winslow)
 - Price: \$65.00
- Dominion Senior Property (The Legends at Silver Lake)
 - Price: \$80.00
- Dominion Senior Property (The Legends of Columbia Heights)
 - Price: \$75.00

EXHIBIT B

Development Team

Officers/Shareholders/Partners

- 1) William Bisanz
- 2) Terry Troy
- 3) Bob Bisanz
- 4) Alex Bisanz
- 5) Patrick Ostrom

Project Contact Information

Developer:

Patrick Ostrom
Real Estate Equities
579 Selby Ave
Saint Paul, MN 55102
(651) 389-3866
postrom@reeapartments.com

Borrower's Legal Counsel:

Jeffrey Drennan
Winthrop & Weinstine, P.A.
225 South Sixth Street
Capella Tower, Ste 3500
Minneapolis, MN 55402
(612) 604-6730
jdrennan@winthrop.com

Bond Underwriter:

Craig Theis
Dougherty & Company LLC
90 South 7th Street, Suite 4300
Minneapolis, MN 55402
(612) 376-4135
Craig.theis@doughertymarkets.com

Tax Credit Bridge Loan Lender:

Craig Theis
Dougherty & Company LLC
90 South 7th Street, Suite 4300
Minneapolis, MN 55402
(612) 376-4135
Craig.theis@doughertymarkets.com

Architect:

Petro N. Megits
Kaas Wilson Architects
1301 American Blvd. E, Suite 100
Bloomington, MN 55425
(612) 223-7957
petrom@kaaswilson.com

Accountant:

Mahoney Ulbrich Christiansen Russ P.A.
Craig A. Mulcahy
10 River Park Plaza, Suite 800
Saint Paul, MN 55107
(651) 281-1852
cmulcahy@mucr.com

EXHIBIT B

Development Plan

The table below identifies the key milestones dates and duration associated with each key stage of the updated development plan.

| Real Estate Equities - Lauderdale Senior Housing Timeline | | |
|--|--|-----------------------------|
| <u>Milestone</u> | | <u>Date Complete</u> |
| PUD Final Approval Submittal | | 10/30/2020 |
| Public Hearing to consider Alley ROW Vacation Submittal | | 10/23/2020 |
| Approval of Rezoning Submittal | | 10/30/2020 |
| Approval of Development Agreement Submittal | | 10/23/2020 |
| Vacation of Alleyway City Council Action | | 12/8/2020 |
| CUP | | 12/8/2020 |
| Final PUD Rezoning City Council Action | | 12/8/2020 |
| Construction Documents Completed | | 4/15/2021 |
| Building Permit Application | | 5/1/2021 |
| Finalize Underwriting | | 3/1/2021 |
| Close | | 6/1/2021 |
| Construction Start | | 6/1/2021 |

EXHIBIT C



REAL ESTATE EQUITIES

Attachment B: OPERATIONS MANAGEMENT PLAN (OMP) and PARKING PLAN

Property Location: 1795 Eustis Street, Lauderdale, MN

Project Name: Eustis Senior Apartments

Project Owner: Real Estate Equities (REE)

After the Certificate of Occupancy (CO) has been issued for the subject Project, the following Operations Management Plan (OMP) shall be followed. This OMP shall govern the activities on the site for as long as the site is used for the Eustis Senior Apartments.

Snow Removal

- REE currently has five (5) snow removal vendors. The Eustis Senior Apartments will have a two-inch (2") snowfall event trigger. If an event accumulates two inches, or greater, the contractor will move/clear the snow.
- The Eustis Senior Apartments will be provided with at least one snowblower and salt spreader to keep walks and drive lanes clear.
- Each year REE snow removal vendors are contacted for a monthly fee from 11/01 to 03/31. Any two-inch snowfall event which occurs outside of that time frame is billed on a time and materials structure and REE shall ensure proper snow clearing is performed
- If snow accumulation exceeds the amount of snow that can be stored on-site, then the snow will be removed from the Eustis Senior Apartments site. Such removal shall be at the cost of REE.
- Any city owned sidewalks, but on the Eustis Senior Apartments site, shall be cleared as part of the snow removal contract and all clearing shall be performed in accordance with the local ordinances.

Trash Removal

- REE has multiple trash and recycling vendors and will contact the appropriate vendor based upon either the authority having local jurisdiction or upon existing vendors. All trash and recycling contracts shall be executed in accordance with local ordinances.
- Trash and recycling frequency are determined by the anticipated cubic load of the Eustis Senior Apartments. At a minimum, collection will occur on two days per week., Depending on actual cubic loads, collection may occur on three days per week collection schedules. The timing of collection is based upon the contracted hauler's routing of their assets.
- Trash collection times on collection days vary but are generally within the 8:00 a.m. to 5:00 p.m. routine workday. All containers will be secured or removed within the normal working hours.
- Multiple five (5) cubic yard waste and recycling containers will be provided to the Eustis Senior Apartments. The Eustis Senior Apartments include a trash chute, and the trash containers will be stored in the garage during non-collection times. Trash containers will be moved to an outside collection point on the day of collection by the Eustis Senior Apartments staff.



EXHIBIT C

- Containers that are moved from trash rooms / garages on collection day will be replaced into the trash room after the collection on the same day of collection by the Eustis Senior Apartments staff.
- Parking lot or surface containers will have the same five (5)-cubic yard sizing as the garage / trash room containers. Specifications for the quantities are based upon the anticipated cubic load per community.
- Parking lot or surface containers are placed into secure enclosures on a surface parking lot and the debris from containers are removed by community staff daily as part of the grounds keeping duties and responsibilities.

Parking Plan

- All residents must register their vehicles and are issued a parking permit for the Eustis Senior Apartments parking garage or surface lot. Registration and permitting allows staff to determine which vehicles are authorized to park on REE owned surface lots or garage parking stalls.
- REE will strongly encourage all residents and visitors to use the provided off-street parking locations including the underground parking garage
- REE will monitor the use of the paid parking stalls, and it shall remain a priority to ensure residents, to the greatest extent possible, rent and use the off-street parking onsite.
- REE may or may not designate specific resident surface or garage parking stalls as part of the parking plan.
- REE will make reasonable accommodations to residents who request specific parking / garage stalls.
- REE will maintain the appropriate number of handicapped or van accessible surface lot or garage parking stalls in accordance ADA or local ordinances.
- REE will work collaboratively with the City on any reasonable concerns regarding on-street parking of residents from the Eustis Senior Apartments. REE and the City agree collectively that it is preferable for residents of the Eustis Senior Apartments use the underground garage and both parties agree to modify this Parking Plan as necessary to achieve that objective.

1795 Eustis Senior Housing

Lauderdale

| 18-09-C -Unit Mix by Type | | | | | |
|---------------------------|-----------|-------|-----------------------|-------|------------------------|
| Name | Unit Type | Count | Area | Level | Total Area |
| 1BR/1BA | | | | | |
| Unit 1-0 | 1BR/1BA | 89 | | | 68,794 ft ² |
| | | 89 | | | 68,794 ft ² |
| 2BR/2BA | | | | | |
| Unit 3-0 | 2BR/2BA | 12 | 1,142 ft ² | | 13,703 ft ² |
| Unit 3-1 | 2BR/2BA | 6 | 1,283 ft ² | | 7,699 ft ² |
| Unit 3-2 | 2BR/2BA | 3 | 1,115 ft ² | | 3,345 ft ² |
| Unit 3-3 | 2BR/2BA | 4 | 1,106 ft ² | | 4,424 ft ² |
| | | 25 | | | 29,171 ft ² |
| Grand total | | 114 | | | 97,965 ft ² |

| 18-09-C -Unit Mix by Floor | | | | | |
|----------------------------|-----------|-------|-----------------------|---------|-----------|
| Name | Unit Type | Count | Area | Level | Unit Type |
| Level 1 | | | | | |
| Unit 1-0 | 1BR/1BA | 22 | 773 ft ² | Level 1 | 1BR |
| Unit 3-0 | 2BR/2BA | 4 | 1,142 ft ² | Level 1 | 2BR |
| Unit 3-1 | 2BR/2BA | 2 | 1,283 ft ² | Level 1 | 2BR |
| Unit 3-2 | 2BR/2BA | 1 | 1,115 ft ² | Level 1 | 2BR |
| Unit 3-3 | 2BR/2BA | 1 | 1,106 ft ² | Level 1 | 2BR |
| | | 30 | | | |
| Level 2 | | | | | |
| Unit 1-0 | 1BR/1BA | 27 | 773 ft ² | Level 2 | 1BR |
| Unit 3-0 | 2BR/2BA | 4 | 1,142 ft ² | Level 2 | 2BR |
| Unit 3-1 | 2BR/2BA | 2 | 1,283 ft ² | Level 2 | 2BR |
| Unit 3-2 | 2BR/2BA | 1 | 1,115 ft ² | Level 2 | 2BR |
| Unit 3-3 | 2BR/2BA | 1 | 1,106 ft ² | Level 2 | 2BR |
| | | 35 | | | |
| Level 3 | | | | | |
| Unit 1-0 | 1BR/1BA | 27 | 773 ft ² | Level 3 | 1BR |
| Unit 3-0 | 2BR/2BA | 4 | 1,142 ft ² | Level 3 | 2BR |
| Unit 3-1 | 2BR/2BA | 2 | 1,283 ft ² | Level 3 | 2BR |
| Unit 3-2 | 2BR/2BA | 1 | 1,115 ft ² | Level 3 | 2BR |
| Unit 3-3 | 2BR/2BA | 1 | 1,106 ft ² | Level 3 | 2BR |
| | | 35 | | | |
| Level 4 | | | | | |
| Unit 1-0 | 1BR/1BA | 13 | | Level 4 | 1BR |
| Unit 3-3 | 2BR/2BA | 1 | 1,106 ft ² | Level 4 | 2BR |
| | | 14 | | | |
| Grand total | | 114 | | | |

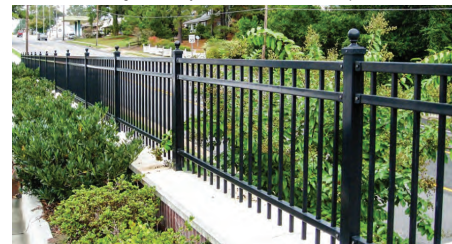
| 18-09-C -Total Gross Area | |
|---------------------------|-------------------------|
| Level | Area |
| Level 4 | 16,220 ft ² |
| Level 3 | 35,644 ft ² |
| Level 2 | 35,644 ft ² |
| Level 1 | 35,641 ft ² |
| Level -1 | 36,223 ft ² |
| Grand total | 159,373 ft ² |

| 18-09-C -Parking Schedule | |
|---------------------------|-------|
| Level | Count |
| Level -1 | 98 |
| Level 1 | 24 |
| Grand total | 122 |

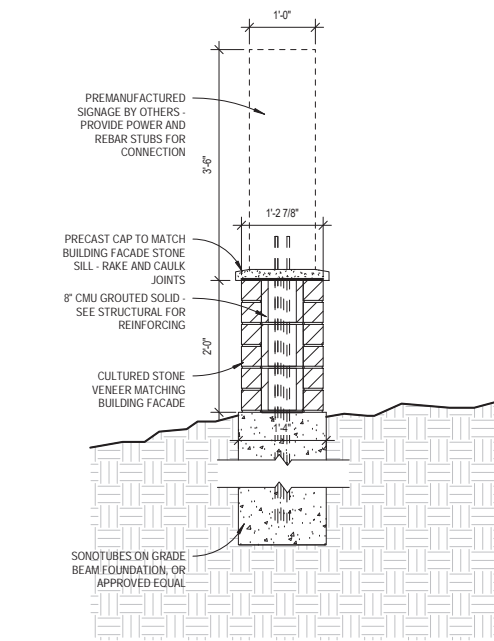
6'-0" High Privacy Fencing:
Cedar, Board on Board



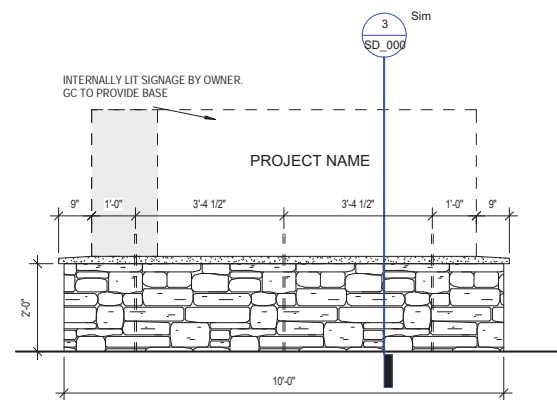
3'-6" High Guardrail Fencing:
Ameristarfence, Aegis Plus, Majestic, 3-Rail Panels, Ball Caps, White



1 Site Development Plan
1" = 30'-0"



3 Site - Monument Sign - Section 1
3/4" = 1'-0"



2 Site - Monument Sign - Elevation 1
1/2" = 1'-0"

1795 Eustis Senior Housing
Lauderdale

Real Estate Equities

Project Number 18-09-C

Date

Drawn By Author

Checked By Checker

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Date

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Rev. No.

Project Data

As indicated

SD_000



SITE PLAN

1795 Eustis
Senior Housing
Lauderdale

Real Estate Equities

Project Number 18-09-C

Date

Drawn By Author

Checked By Checker

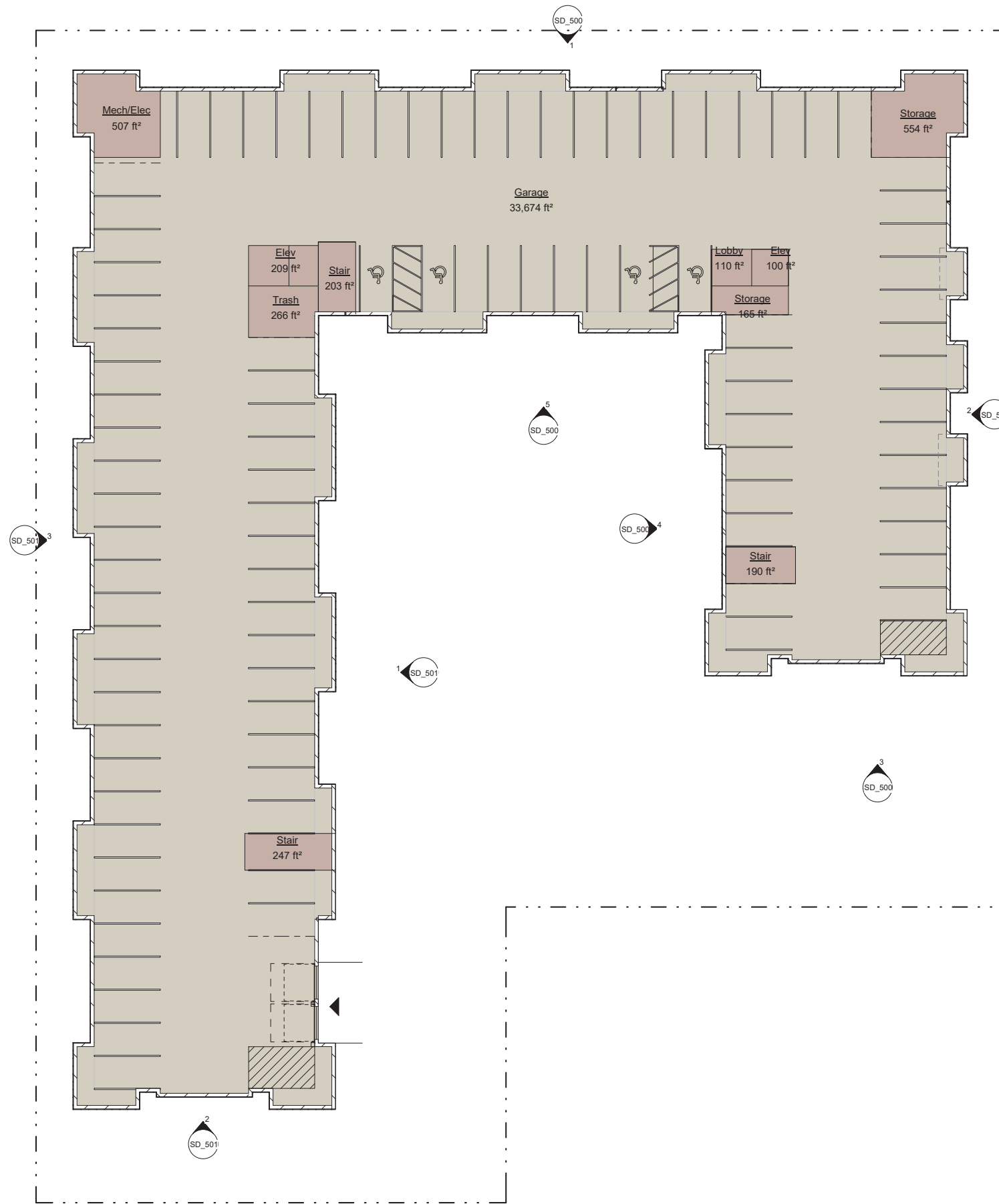
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Date

Revision

Rev. No.

Site Plan



1795 Eustis
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Level -1

1/16" = 1'-0"

SD_101



Malvern St.

Eustis St.

1795 Eustis
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Level 1

1/16" = 1'-0"

SD_102



Schema 1 Legend

- 1BR/1BA
- 2BR/2BA
- Amenity
- Core/Stairs
- Corridor
- Patio

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① Level 4
1/16" = 1'-0"

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Level 4

1/16" = 1'-0"

SD_104

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Shadow Study

1" = 100'-0"

SD_105



10 Site Area Plan - January 21st 9am
1" = 100'-0"



1 Site Area Plan - Winter Solstice 9am
1" = 100'-0"



4 Site Area Plan - Equinox 9am
1" = 100'-0"



7 Site Area Plan - Summer Solstice 9am
1" = 100'-0"



11 Site Area Plan - January 21st 12pm
1" = 100'-0"



2 Site Area Plan - Winter Solstice 12pm
1" = 100'-0"



5 Site Area Plan - Equinox 12pm
1" = 100'-0"



8 Site Area Plan - Summer Solstice 12pm
1" = 100'-0"



12 Site Area Plan - January 21st 3pm
1" = 100'-0"



3 Site Area Plan - Winter Solstice 3pm
1" = 100'-0"



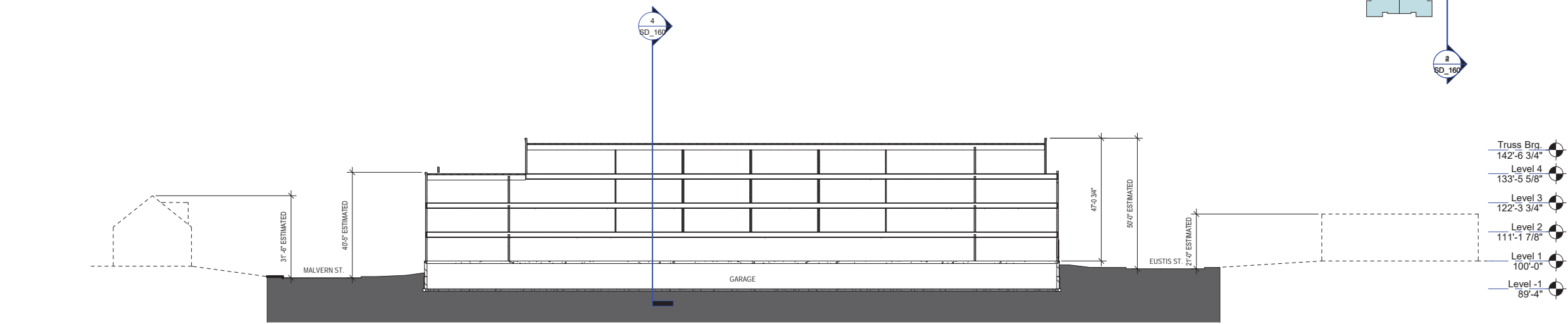
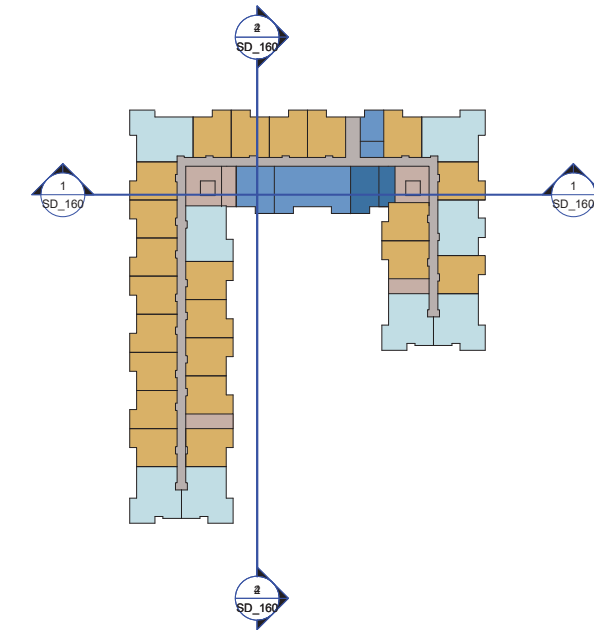
6 Site Area Plan - Equinox 3pm
1" = 100'-0"



9 Site Area Plan - Summer Solstice 3pm
1" = 100'-0"

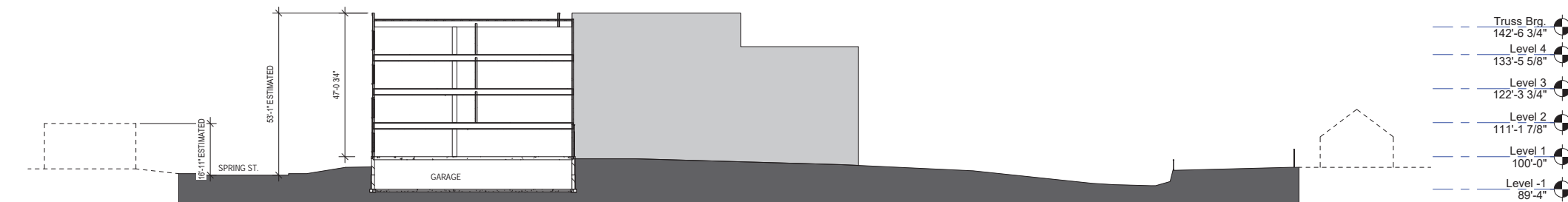
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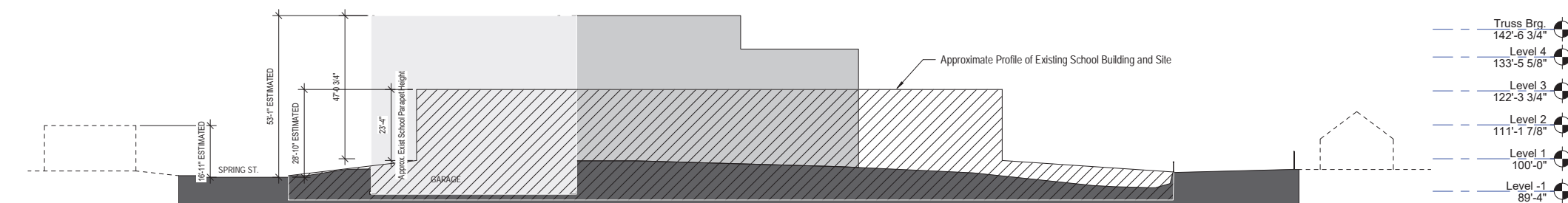
1 Site Section 1
3/64" = 1'-0"

- Truss Brq. 142'-6 3/4"
- Level 4 133'-5 5/8"
- Level 3 122'-3 3/4"
- Level 2 111'-1 7/8"
- Level 1 100'-0"
- Level -1 89'-4"



2 Site Section 2
3/64" = 1'-0"

- Truss Brq. 142'-6 3/4"
- Level 4 133'-5 5/8"
- Level 3 122'-3 3/4"
- Level 2 111'-1 7/8"
- Level 1 100'-0"
- Level -1 89'-4"



4 Site Section 3 Existing Building Profile
3/64" = 1'-0"

- Truss Brq. 142'-6 3/4"
- Level 4 133'-5 5/8"
- Level 3 122'-3 3/4"
- Level 2 111'-1 7/8"
- Level 1 100'-0"
- Level -1 89'-4"

1795 Eustis Senior Housing
Lauderdale

Real Estate Equities

Project Number 18-09-C

Date

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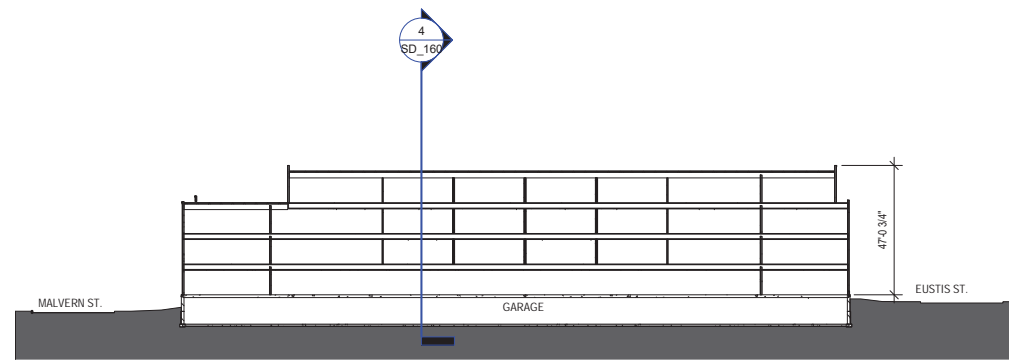
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Site Sections

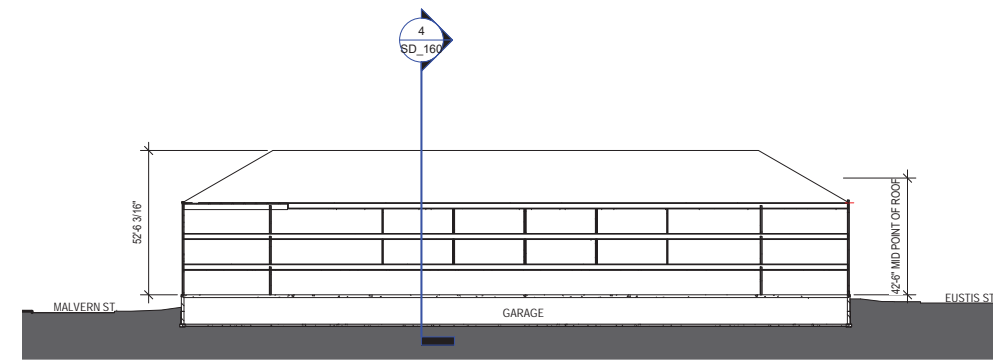
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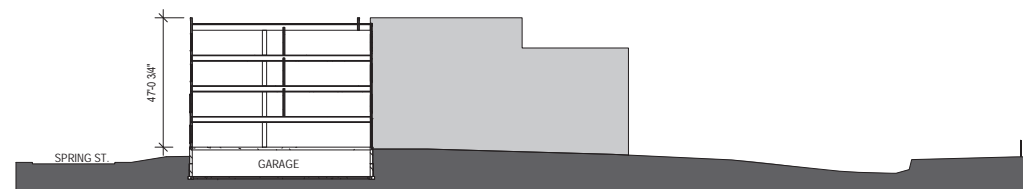
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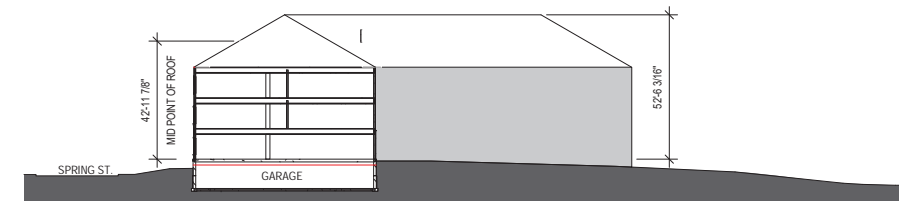
① Site Section 1 - Four Story - Flat Roof
1/32" = 1'-0"



② Site Section 1 - Three Story - Sloped Roof
1/32" = 1'-0"



③ Site Section 2 - Four Story - Flat Roof
1/32" = 1'-0"



④ Site Section 2 - Three Story - Sloped Roof
1/32" = 1'-0"

1795 Eustis
Senior Housing
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Real Estate Equities

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Sections
Comparisons
1/32" = 1'-0"
SD_161

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VIEW SOUTHWEST FROM SPRING ST. & EUSTIS ST.



VIEW NORTHEAST FROM COURTYARD

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Images



① Elevation 1 - a
1/16" = 1'-0"



② Elevation 2 - a
1/16" = 1'-0"



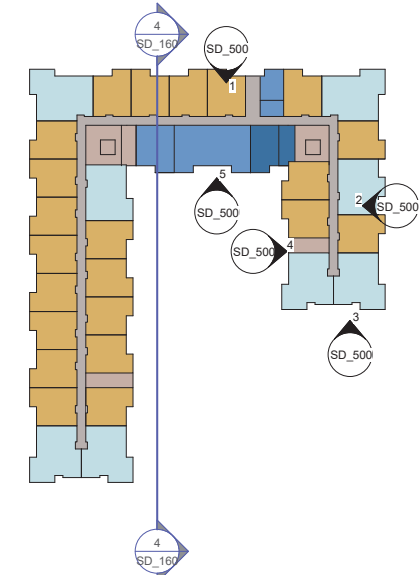
③ Elevation 3 - a
1/16" = 1'-0"



④ Elevation 4 - a
1/16" = 1'-0"



⑤ Elevation 5 - a
1/16" = 1'-0"



EXTERIOR MATERIAL TAG KEY

MASONRY:

- ④ CONC. MASONRY UNIT - COLOR: TBD
- ④ CULTURED STONE - COLOR: BEIGE
- ④ STONE SILL - COLOR: BEIGE

METALS:

- ⑤ PREFIN MTL COPING - COLOR: WHITE
- ⑤ PREFIN MTL CANOPY - WHITE
- ⑤ CANOPY SIGN, 1" DEEP & 10" HIGH LETTERS - COLOR: BLACK
- ⑤ BALCONY - ALUMINUM - COLOR: WHITE
- ⑤ ALUMINUM ENTRY CANOPY - COLOR: WHITE
- ⑤ METAL RAILING - COLOR: WHITE

WOOD:

- ⑥ WOOD TRELLIS - COLOR: TBD

SIDING:

- ⑦ CFB LAP SIDING - 6" EXPOSURE - COLOR: OFF WHITE
- ⑦ CFB PANEL SIDING - COLOR: OFF WHITE
- ⑦ CFB LAP SIDING - 6" AND 4" EXPOSURE - COLOR: TAUPE
- ⑦ CFB LAP SIDING - 6" AND 4" EXPOSURE - COLOR: DEEP RED
- ⑦ CFB TRIM 5/4 BOARD - COLOR: OFF WHITE

OPENINGS:

- ⑧ VINYL WINDOW - COLOR: WHITE
- ⑧ ALUMINUM STOREFRONT GLAZING - COLOR: WHITE

1795 Eustis Senior Housing
Lauderdale

Real Estate Equities

| | |
|----------------|---------|
| Project Number | 18-09-C |
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| Checked By | Checker |

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Exterior Elevations

As indicated

SD_500

ATTACHMENT C

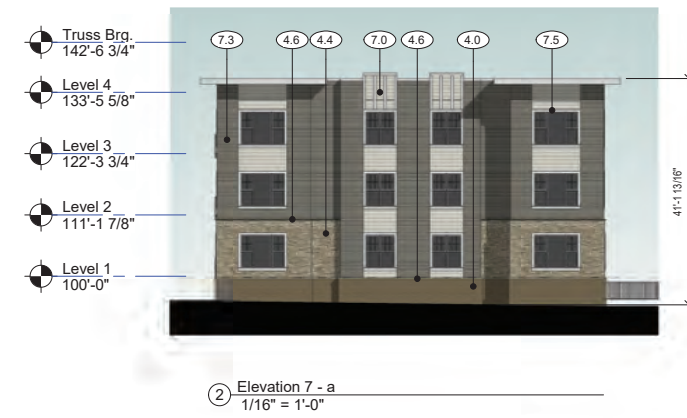
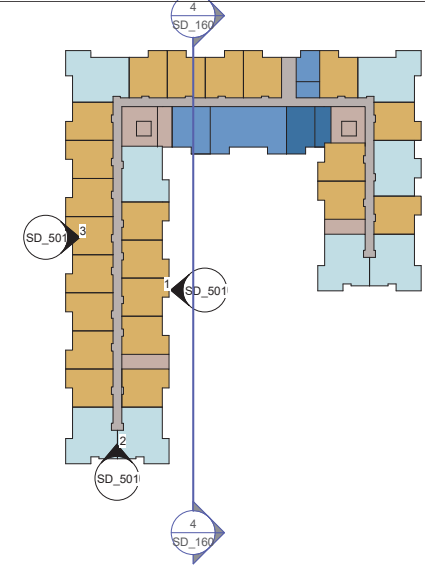
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1301 American Blvd. E.
Suite 100
Bloomington, MN 55425
tel: (612) 879-6000
fax: (612) 879-6666
www.kaaswilson.com



EXTERIOR MATERIAL TAG KEY

MASONRY:

- ④.0 CONC. MASONRY UNIT - COLOR: TBD
- ④.4 CULTURED STONE - COLOR: BEIGE
- ④.6 STONE SILL - COLOR: BEIGE

METALS:

- ⑤.0 PREFIN MTL COPING - COLOR: WHITE
- ⑤.1 PREFIN MTL CANOPY - WHITE
- ⑤.4 CANOPY SIGN, 1" DEEP & 10" HIGH LETTERS - COLOR: BLACK
- ⑤.5 BALCONY - ALUMINUM - COLOR: WHITE
- ⑤.7 ALUMINUM ENTRY CANOPY - COLOR: WHITE
- ⑤.9 METAL RAILING - COLOR: WHITE

WOOD:

- ⑥.1 WOOD TRELLIS - COLOR: TBD

SIDING:

- ⑦.0 CFB LAP SIDING - 6" EXPOSURE - COLOR: OFF WHITE
- ⑦.2 CFB PANEL SIDING - COLOR: OFF WHITE
- ⑦.3 CFB LAP SIDING - 6" AND 4" EXPOSURE - COLOR: TAUPE
- ⑦.4 CFB LAP SIDING - 6" AND 4" EXPOSURE - COLOR: DEEP RED
- ⑦.5 CFB TRIM 5/4 BOARD - COLOR: OFF WHITE

OPENINGS:

- ⑧.0 VINYL WINDOW - COLOR: WHITE
- ⑧.2 ALUMINUM STOREFRONT GLAZING - COLOR: WHITE



1795 Eustis Senior Housing

Lauderdale

Real Estate Equities

| | |
|----------------|---------|
| Project Number | 18-09-C |
| Date | |
| Drawn By | Author |
| Checked By | Checker |

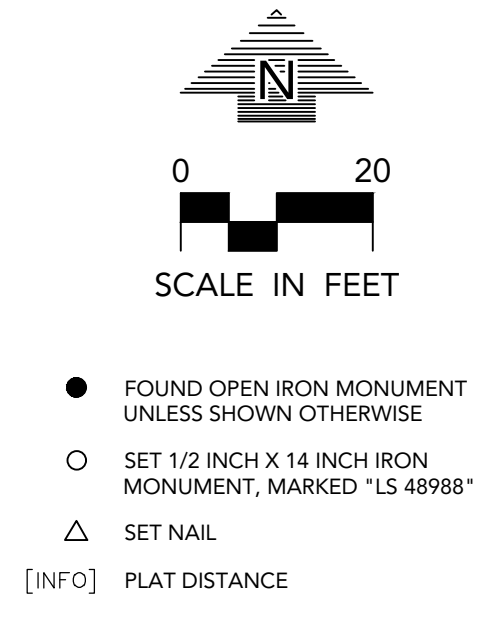
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| Revision | |
| Rev. No. | |

Exterior Elevations
As indicated
SD_501

SURVEY LEGEND

| | | |
|-----------------------|----------------------|--------------------------|
| BA BASSWOOD | ● CATCH BASIN | — STORM SEWER |
| EL ELM | ○ STORM MANHOLE | — SANITARY SEWER |
| FR MISC FRUIT | ○ SANITARY MANHOLE | — WATERMAIN |
| HB HACKBERRY | ○ HYDRANT | — SANITARY SEWER SERVICE |
| MA MAPLE | ⊠ GATE VALVE | — WATER SERVICE |
| OA OAK | ○ POWER POLE | — FORCE MAIN |
| SP SPRUCE | ○ GAS METER | — DRAIN TILE |
| TC TOP OF CURB | ○ GUARD POST | — UG GAS (MAPPING) |
| THSD ELEV @ THRESHOLD | — GUY WIRE | — UG GAS (MARKED) |
| TMH TOP NUT HYDRANT | ○ ROOF DRAIN | — OVERHEAD UTILITY |
| CONIFEROUS TREE | ○ SIGN | — CHAIN LINK FENCE |
| DECIDUOUS TREE | ○ TELEPHONE PEDESTAL | — HAND RAIL |
| | ○ SPOT ELEVATION | — CONCRETE CURB |
| | ○ SCHEDULE B II ITEM | — CONCRETE |
| | | — BITUMINOUS |
| | | — NO PARKING |
| | | — CONTOUR |



BMM#1
In Roseville, 0.35 mile east along Co. Rd. B from the junction of Trunk Hwy 280 & Co. Rd. B, 31.9 feet south of Co. Rd. B, 34 feet west of Fulham St., 58.8 feet northeast of northeast corner of a house No. 2151, 6.0 feet west of Fulham St. & Co. Rd. B sign post. ELEVATION = 952.27 Feet (NGVD29)

BMM#2
Top nut of hydrant located at southwest quadrant of intersection of Spring St. & Eustis St., as shown hereon. ELEVATION = 959.50 Feet (NGVD29)

DESCRIPTION OF PROPERTY SURVEYED
(Per Schedule A of the herein referenced Title Commitment)

Lots 1 to 6 inclusive, Block 10, Lauderdale's East Side Addition

Lots 23 to 30 inclusive, Block 10, Lauderdale's East Side Addition

That part of the vacated alley in Block 10 lying between the extensions across said vacated alley of the South line of Lot 6 and the North line of Lot 1, all in Block 10, Lauderdale's East Side Addition.

Ramsey County, Minnesota
Being Registered land as is evidenced by Certificate of Title No. 623113.

TITLE COMMITMENT EXCEPTIONS
(Per Schedule B, Part II of the herein referenced Title Commitment)

The property depicted on this survey and the easements of record shown hereon are the same as the property and the easements described in the Commitment for Title Insurance issued by Guaranty Commercial Title, Inc., as agent for Stewart Title Guaranty Company, File No. 64654, effective date December 18, 2018. The numbers below correspond to those in the title commitment.

- 1 through 5 do not require comment.
- Subject to reserved easements for utilities in the vacated alley as set forth in Document No. 684463. Shown hereon.
- Public right of way, landscaping and other public purpose easement(s) over part of Lot 23, Block 10, Lauderdale's East Side Addition as evidenced by Document No. 686397. Shown hereon.

ALTA/NSPS OPTIONAL TABLE A NOTES

(The following items refer to Table A optional survey responsibilities and specifications)

- Monuments placed (or a reference monument or witness to the corner) at all major corners of the boundary of the property, unless already marked or referenced by existing monuments or witnesses to the corner are shown hereon.
- The address, if disclosed in documents provided to or obtained by the surveyor, or observed while conducting the fieldwork is 1795 Eustis Street, Lauderdale, Minnesota.
- This property is contained in Zone X (area of minimal flooding) per Flood Insurance Rate Map No. 2712C0080G, Community Panel No. 270376 0080 G, effective date of June 4, 2010.
- The Gross land area is 73,262 +/- square feet or 1.68 +/- acres.
- (a) No zoning letter or report were provided by the client. Per the zoning map located on the website for the City of Lauderdale, the subject property is Zoned R-1 (Suburban Residential). We are unable to determine any setbacks or restrictions for this zone
- (a) Exterior dimensions of all buildings are shown at ground level.
- Substantial features observed in the process of conducting fieldwork, are shown hereon.
- There are no striped parking stalls on this site.
- (a) There are no observable division or party walls on this site.

11. We have shown underground utilities on and/or serving the surveyed property per Gopher State One-Call Ticket Nos. 183400002 and 183400004. The following utilities and municipalities were notified:

| | |
|------------------------------|---------------|
| CITY OF LAUDERDALE | (651)792-7650 |
| COMCAST | (800)778-9140 |
| CENTURYLINK | (855)742-6062 |
| MNDOT | (651)366-5750 |
| ST PAUL REGIONAL WATER | (651)266-6868 |
| ST PAUL SEWER | (651)266-9850 |
| ST PAUL TRAFFIC AND LIGHTING | (651)266-9777 |
| ST PAUL PARKS | (651)632-5129 |
| XCEL ENERGY | (651)229-2552 |

- Utility operators do not consistently respond to locate requests through the Gopher State One Call service for surveying purposes such as this. Those utility operators that do respond, often will not locate utilities from their main line to the customer's structure or facility. They consider those utilities "private" installations that are outside their jurisdiction. These "private" utilities on the surveyed property or adjoining properties, may not be located since most operators will not mark such "private" utilities. A private utility locator may be contacted to investigate these utilities further, if requested by the client.
- Maps provided by those notified above, either along with a field location or in lieu of such a location, are very often inaccurate or inconclusive. EXTREME CAUTION MUST BE EXERCISED BEFORE AN EXCAVATION TAKES PLACE ON OR NEAR THIS SITE. BEFORE DIGGING, YOU ARE REQUIRED BY LAW TO NOTIFY GOPHER STATE ONE CALL AT LEAST 48 HOURS IN ADVANCE AT 811 or (651) 454-0002.

- The names of the adjoining owners, as shown hereon, are based on information obtained from current tax records.
- We are not aware of any evidence of recent earth moving work, building construction or building additions observed in the process of conducting our field work.
- We are not aware of any proposed changes in street right of way lines or evidence of recent street or sidewalk construction or repairs observed in the process of conducting our field work.
- We have not been provided with any information on wetland delineation markers, as determined by a qualified specialist.
- We are not aware of any plottable offsite (i.e., appurtenant) easements or servitudes for this site.

SURVEY REPORT

- The Surveyor was not provided utility easement documents for the subject property except for those shown on the Survey.
- Snow and ice conditions during winter months may obscure otherwise visible evidence of on site improvements and/or utilities.
- The bearings for this survey are based on the Ramsey County Coordinate System NAD 83 (1986 Adjust).
- Trees shown hereon are 6 inch diameter at breast height or greater. Other trees less than 6 inches may be on site but are not shown hereon.
- If necessary, the process should be started to get the utility easements released that were retained in the vacated alley.

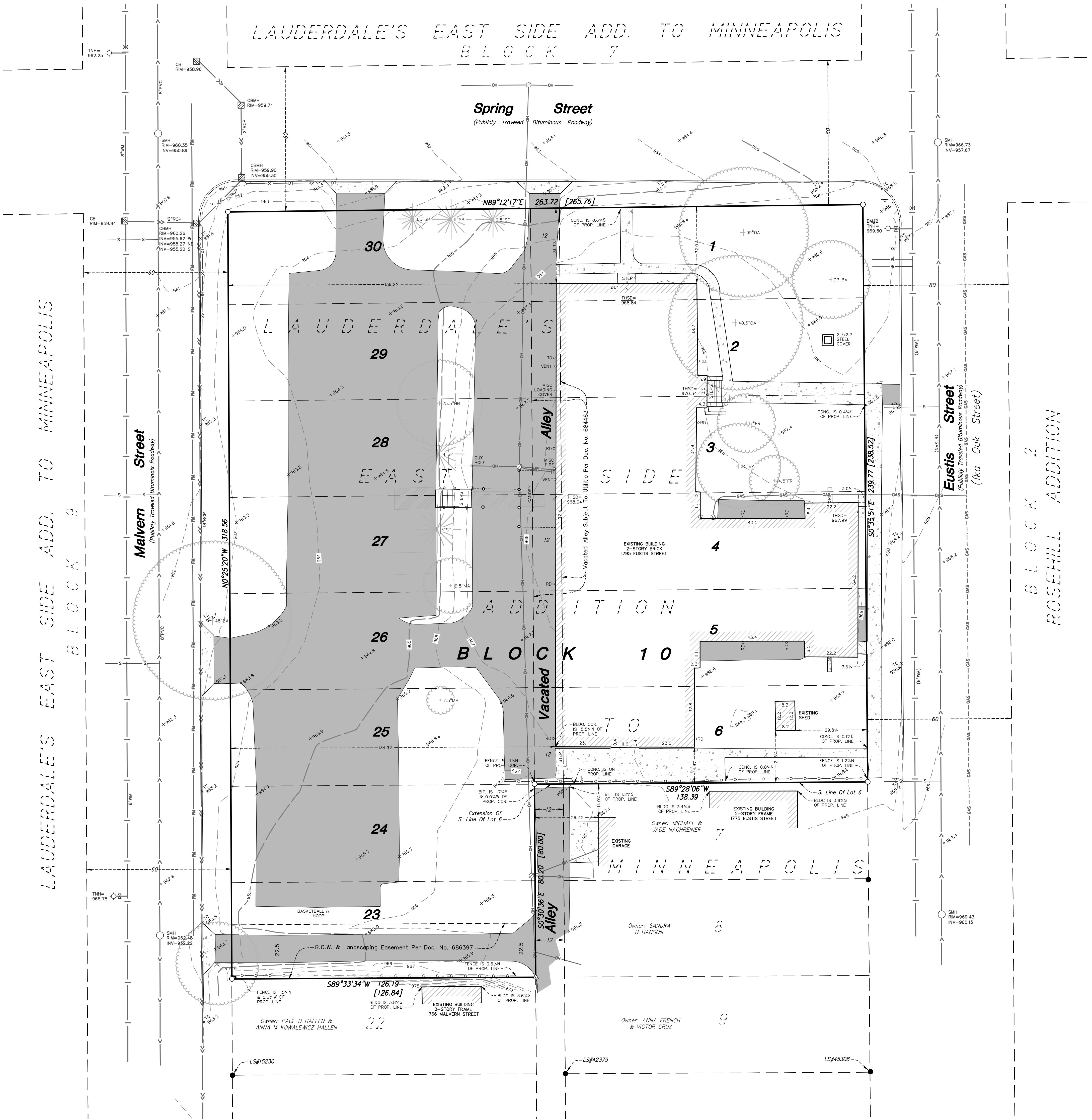
CERTIFICATION

To Real Estate Equities, LLC, a Minnesota limited liability company, City of Lauderdale; Guaranty Commercial Title, Inc., and Stewart Title Guaranty Company:

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1 - 4, 6(a), 7(a), 8, 9, 10(a), 11, 13, 16, 17, 18, 19 and 20 of Table A thereof. The field work was completed on December 31, 2018.

Date of Plat or Map: January 16, 2019

Paul J. McGinley
Paul J. McGinley, PLS Minnesota License No. 16099
pmcginley@loucksinc.com



1795 EUSTIS STREET
Lauderdale, MN
Ramsey County

REAL ESTATE EQUITIES

345 St. Peter Street
Suite 1600
St. Paul, MN 55102

LOUCKS

PLANNING
CIVIL ENGINEERING
LAND SURVEYING
LANDSCAPE ARCHITECTURE
ENVIRONMENTAL

7200 Hemlock Lane, Suite 300
Maple Grove, MN 55369
763.424.5505
www.loucksinc.com

CADD QUALIFICATION

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SUBMITTALS/REVISIONS

| | |
|---------|---------------|
| 1/16/19 | SURVEY ISSUED |
|---------|---------------|

PROFESSIONAL SIGNATURE

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

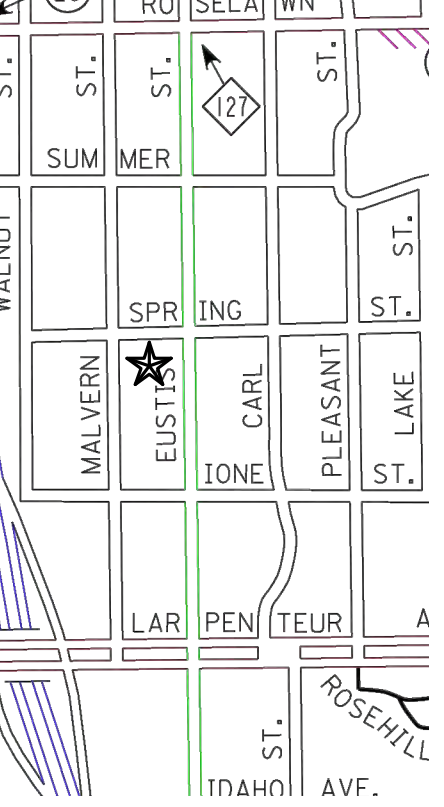
Paul J. McGinley
Paul J. McGinley, PLS

License No. 16099
Date 1/16/19

QUALITY CONTROL

| | |
|--------------------|-----------|
| Loucks Project No. | 18-444 |
| Project Lead | PJM |
| Drawn By | SFM |
| Checked By | PJM |
| Field Crew | CMS/SF/SK |

VICINITY MAP

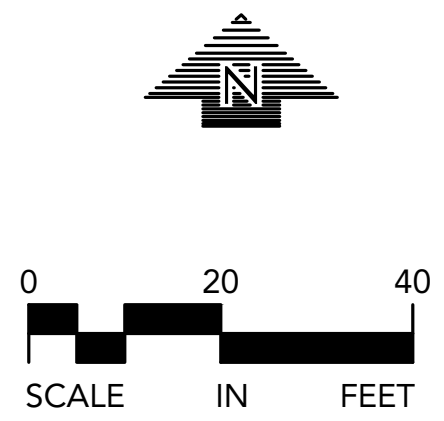
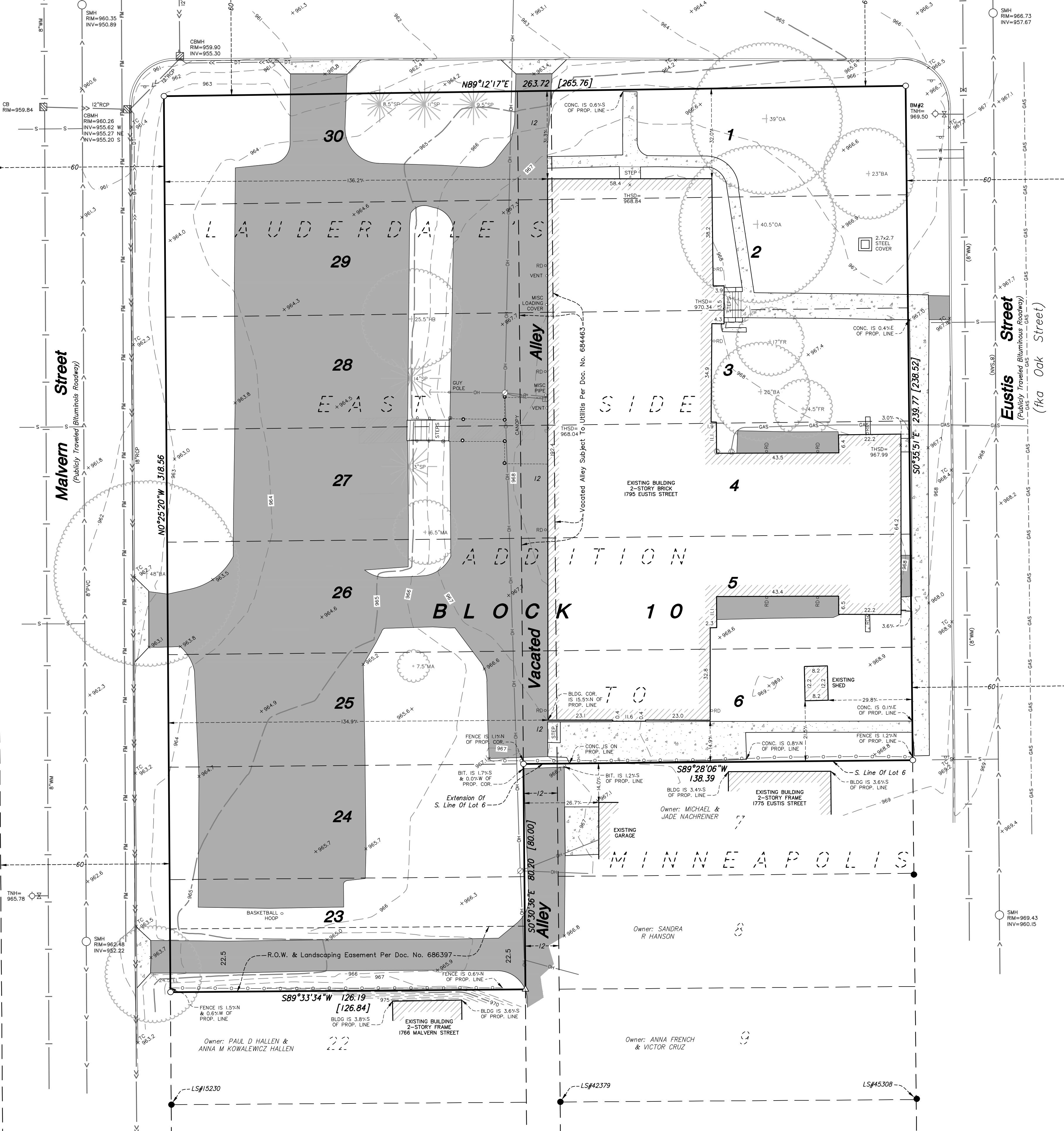


ALTA/NSPS Land Title Survey

LAUDERDALE'S EAST SIDE ADD. TO MINNEAPOLIS BLOCK 9

LAUDERDALE'S EAST SIDE ADD. TO MINNEAPOLIS BLOCK 7

Spring Street
(Publicly Traveled Bituminous Roadway)



| SURVEY LEGEND | | |
|---------------|-------------------------|---|
| AS | ASH | ☉ |
| AP | APPLE | ○ |
| BA | BASSWOOD | ○ |
| BI | BIRCH | ○ |
| BO | BOXELDER | ○ |
| BU | BUCKEYE | ○ |
| BS | BUSH | ○ |
| CA | CATULPA | ○ |
| CE | CEDAR | ○ |
| CO | COTTONWOOD | ○ |
| DE | DEAD TREE | ○ |
| EL | ELM | ○ |
| FR | MISC FRUIT | ○ |
| FI | FIR | ○ |
| HA | HACKBERRY | ○ |
| HI | HICKORY | ○ |
| IR | IRONWOOD | ○ |
| LI | LINDEN | ○ |
| LO | LOCUST | ○ |
| MA | MAPLE | ○ |
| OA | OAK | ○ |
| PA | PALM | ○ |
| PI | PINE | ○ |
| PO | POPLAR | ○ |
| SP | SPRUCE | ○ |
| TR | TREE (GEN) | ○ |
| WA | WALNUT | ○ |
| WI | WILLOW | ○ |
| TC | TOP OF CURB | ○ |
| TW | TOP OF WALL | ○ |
| THSD | ELEV @ THRESHOLD | ○ |
| ☉ | CATCH BASIN | ☉ |
| ○ | STORM MANHOLE | ○ |
| ○ | SANITARY MANHOLE | ○ |
| ○ | WATER MANHOLE | ○ |
| ○ | HYDRANT | ○ |
| ○ | GATE VALVE | ○ |
| ○ | POWER POLE | ○ |
| ○ | LIGHT POLE | ○ |
| ○ | YARD LIGHT | ○ |
| ○ | GY WIRE | ○ |
| ○ | SIGN | ○ |
| ○ | SPOT ELEVATION | ○ |
| ○ | A/C UNIT | ○ |
| ○ | CABLE TV PEDESTAL | ○ |
| ○ | ELECTRIC TRANSFORMER | ○ |
| ○ | TELEPHONE PEDESTAL | ○ |
| ○ | UTILITY PEDESTAL | ○ |
| ○ | ELECTRIC MANHOLE | ○ |
| ○ | GAS VALVE | ○ |
| ○ | TELEPHONE MANHOLE | ○ |
| ○ | UTILITY MANHOLE | ○ |
| ○ | ELECTRIC METER | ○ |
| ○ | GAS METER | ○ |
| ○ | HAND HOLE | ○ |
| ○ | ROOF DRAIN | ○ |
| ○ | ELECTRIC OUTLET | ○ |
| ○ | FIRE CONNECTION | ○ |
| ○ | MAILBOX | ○ |
| ○ | FLAG POLE | ○ |
| ○ | GUARDPOST | ○ |
| ○ | MONITORING WELL | ○ |
| ○ | POST INDICATOR VALVE | ○ |
| ○ | SOIL BORING | ○ |
| ○ | STORM SEWER | ○ |
| ○ | SANITARY SEWER | ○ |
| ○ | WATER MAIN | ○ |
| ○ | SANITARY SEWER SERVICE | ○ |
| ○ | WATER SERVICE | ○ |
| ○ | CULVERT | ○ |
| ○ | UNDERGROUND CABLE TV | ○ |
| ○ | UNDERGROUND ELECTRIC | ○ |
| ○ | UNDERGROUND FIBER OPTIC | ○ |
| ○ | UNDERGROUND GAS | ○ |
| ○ | UNDERGROUND TELEPHONE | ○ |
| ○ | UNDERGROUND UTILITY | ○ |
| ○ | OVERHEAD UTILITY | ○ |
| ○ | UNDERGROUND TRAFFIC | ○ |
| ○ | DRAIN TILE | ○ |
| ○ | FORCE MAIN | ○ |
| ○ | CHAIN LINK FENCE | ○ |
| ○ | POST FENCE | ○ |
| ○ | WOOD FENCE | ○ |
| ○ | GUARDRAIL | ○ |
| ○ | RETAINING WALL | ○ |
| ○ | TRAFFIC SIGNAL | ○ |
| ○ | CONCRETE | ○ |
| ○ | BITUMINOUS | ○ |
| ○ | PAVERS | ○ |
| ○ | CONTOUR | ○ |
| ○ | RAILROAD TRACKS | ○ |
| ○ | CONFEROUS TREE | ○ |
| ○ | DECIDUOUS TREE | ○ |

CADD QUALIFICATION

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SUBMITTAL REVISIONS

| | |
|----------|----------------------------|
| 01/09/19 | Preliminary City Submittal |
| 02/15/19 | City Submittal |
| 04/12/19 | City Submittal |
| 10/30/20 | City Submittal |

PROFESSIONAL SIGNATURE

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

| | | |
|-------------|---------------|----------|
| License No. | PJ Doshi - PE | 49933 |
| Date | | XX/XX/19 |

QUALITY CONTROL

| | |
|--------------|----------|
| Project No. | 18644.00 |
| Project Lead | PJD |
| Drawn By | PJD |
| Checked By | PJD |
| Review Date | 10/30/20 |

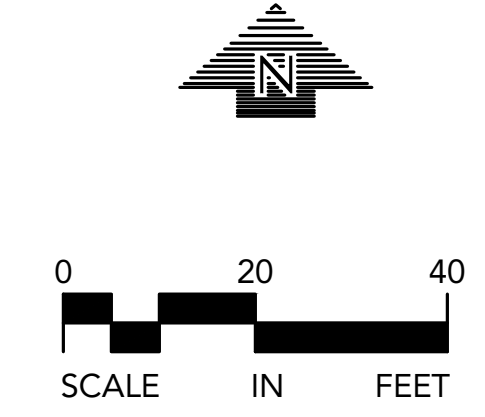
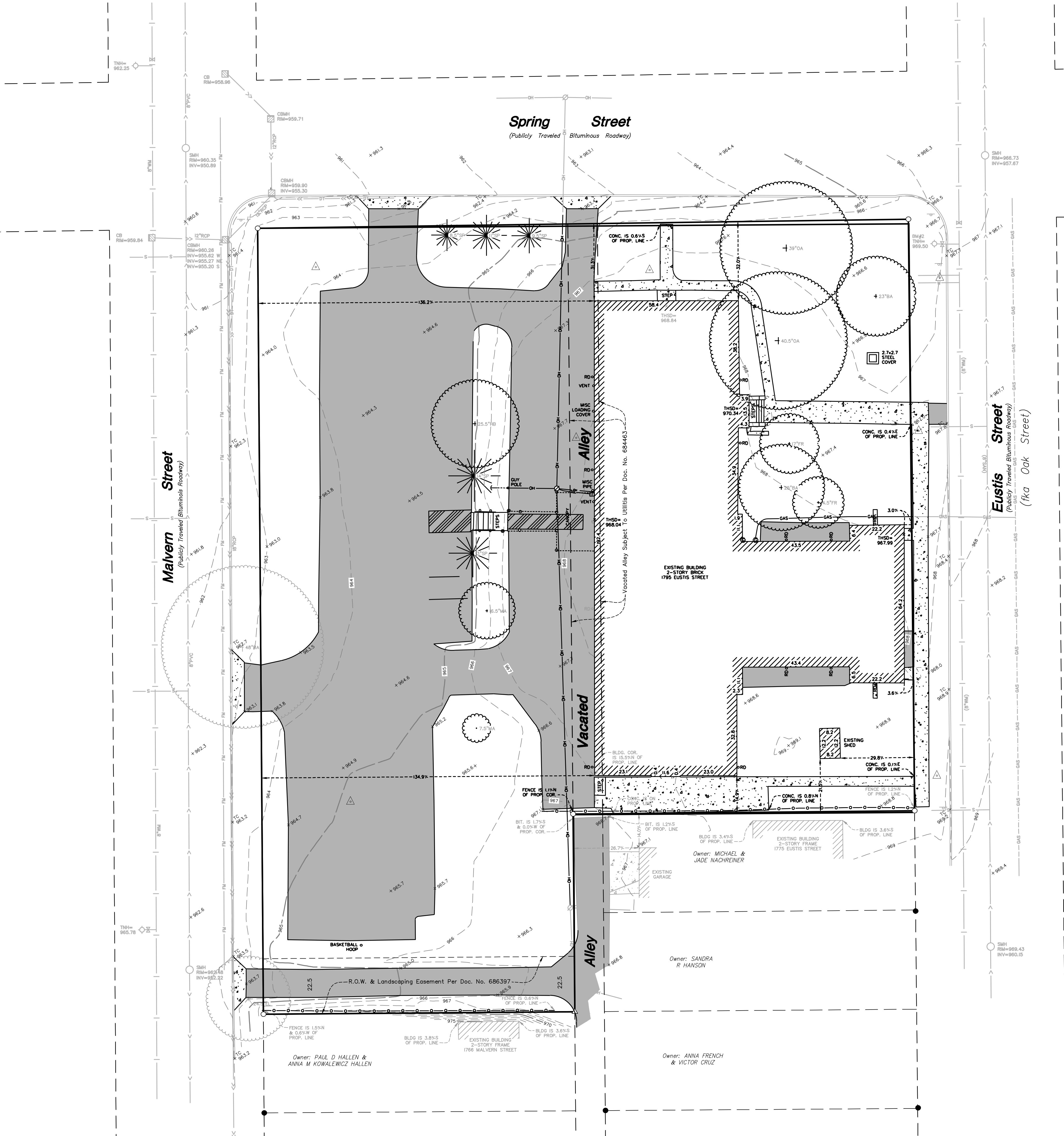
SHEET INDEX

| | |
|------|---------------------|
| C1-1 | EXISTING CONDITIONS |
| C2-1 | SITE PLAN |
| C3-1 | GRADING PLAN |
| C3-2 | SWPPP |
| C3-3 | SWPPP |
| C4-1 | UTILITY PLAN |
| C8-1 | DETAILS |
| L1-1 | LANDSCAPE PLAN |

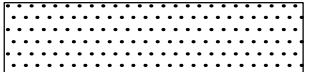
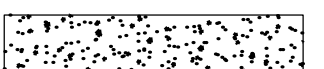




WARNING:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING FOR LOCATIONS OF ALL EXISTING UTILITIES. THEY SHALL COOPERATE WITH ALL UTILITY COMPANIES IN MAINTAINING THEIR SERVICE AND / OR RELOCATION OF LINES.
THE CONTRACTOR SHALL CONTACT GOPHER STATE ONE CALL AT 651-454-0002 AT LEAST 48 HOURS IN ADVANCE FOR THE LOCATIONS OF ALL UNDERGROUND WIRES, CABLES, CONDUITS, PIPES, MANHOLES, VALVES OR OTHER BURIED STRUCTURES BEFORE DIGGING. THE CONTRACTOR SHALL REPAIR OR REPLACE THE ABOVE WHEN DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.

EXISTING CONDITIONS
C1-1



DEMOLITION LEGEND:

-  REMOVE BITUMINOUS PAVMENT (FULL DEPTH)
-  REMOVE EXISTING CONCRETE PAVING, SIDEWALKS, ETC.
-  REMOVE EXISTING CURB & GUTTER, RETAINING WALLS, FENCE, ETC.
-  REMOVE EXISTING TREES

SITE DEMOLITION NOTES

1. CONTRACTOR SHALL REMOVE AND/OR RELOCATE EXISTING PRIVATE UTILITIES AS NECESSARY. CONTRACTOR TO COORDINATE ACTIVITIES WITH UTILITY COMPANIES.
2. CONTRACTOR SHALL PROTECT SURFACE AND SUBSURFACE FEATURES NOT NOTED FOR REMOVAL.
3. CONTRACTOR TO CLEAR AND GRUB EXISTING VEGETATION WITHIN CONSTRUCTION LIMITS, STRIP TOP SOIL, AND STOCKPILE ON-SITE. REFER TO GRADING PLAN AND SWPPP FOR SEDIMENT AND EROSION CONTROL REQUIREMENTS.
4. CLEAR AND GRUB AND REMOVE ALL TREES, VEGETATION AND SITE DEBRIS PRIOR TO GRADING. ALL REMOVED MATERIAL SHALL BE HAULED FROM THE SITE DAILY. EROSION CONTROL MEASURES SHALL BE IMMEDIATELY ESTABLISHED UPON REMOVAL. SEE THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP).
5. CONTRACTOR SHALL REMOVE ALL SITE SURFACE FEATURES WITHIN REMOVAL LIMITS UNLESS OTHERWISE NOTED.
6. BITUMINOUS PAVEMENT REMOVALS ARE TO BE MADE TO A VERTICAL SAW CUT OR TO A NEAT MILLED EDGE.
7. CONCRETE PAVEMENT, SIDEWALK, CURB & GUTTER AND OTHER POURED CONCRETE ITEMS ARE TO BE REMOVED TO AN EXISTING EXPANSION OR CONTRACTION JOINT. SAW CUT AS NECESSARY FOR A NEAT EDGE OF REMOVAL.
8. ALL REMOVAL ITEMS SHALL BECOME THE PROPERTY OF THE CONTRACTOR UNLESS SPECIFIED OTHERWISE AND SHALL BE DISPOSED OF OFF-SITE IN A MANNER MEETING ALL APPLICABLE REGULATIONS.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL AND REPLACEMENT OF ALL SIGNS, MAILBOXES, ETC.
10. ANY DAMAGE TO ITEMS NOT NOTED TO BE REMOVED SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE REPAIRED OR REPLACED TO ORIGINAL CONDITION WITH NO ADDITIONAL COMPENSATION.

WARNING:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING FOR LOCATIONS OF ALL EXISTING UTILITIES. THEY SHALL COOPERATE WITH ALL UTILITY COMPANIES IN MAINTAINING THEIR SERVICE AND / OR RELOCATION OF LINES.

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PROJECT BENCHMARK

XXXXX

LAUDERDALE SENIOR HOUSING
1795 EUSTIS ST, LAUDERDALE, MN

REAL ESTATE EQUITIES
579 SELBY AVE, ST. PAUL, MN 55102

LOUCKS
PLANNING
CIVIL ENGINEERING
LAND SURVEYING
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7200 Hemlock Lane, Suite 300
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SUBMITTAL/REVISIONS

| Date | Revision |
|----------|----------------------------|
| 01/09/19 | Preliminary City Submittal |
| 02/15/19 | City Submittal |
| 04/12/19 | City Submittal |
| 10/30/20 | City Submittal |

PROFESSIONAL SIGNATURE

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

License No. Doug@Loudks@LA 49993
Date XX/XX/19

QUALITY CONTROL

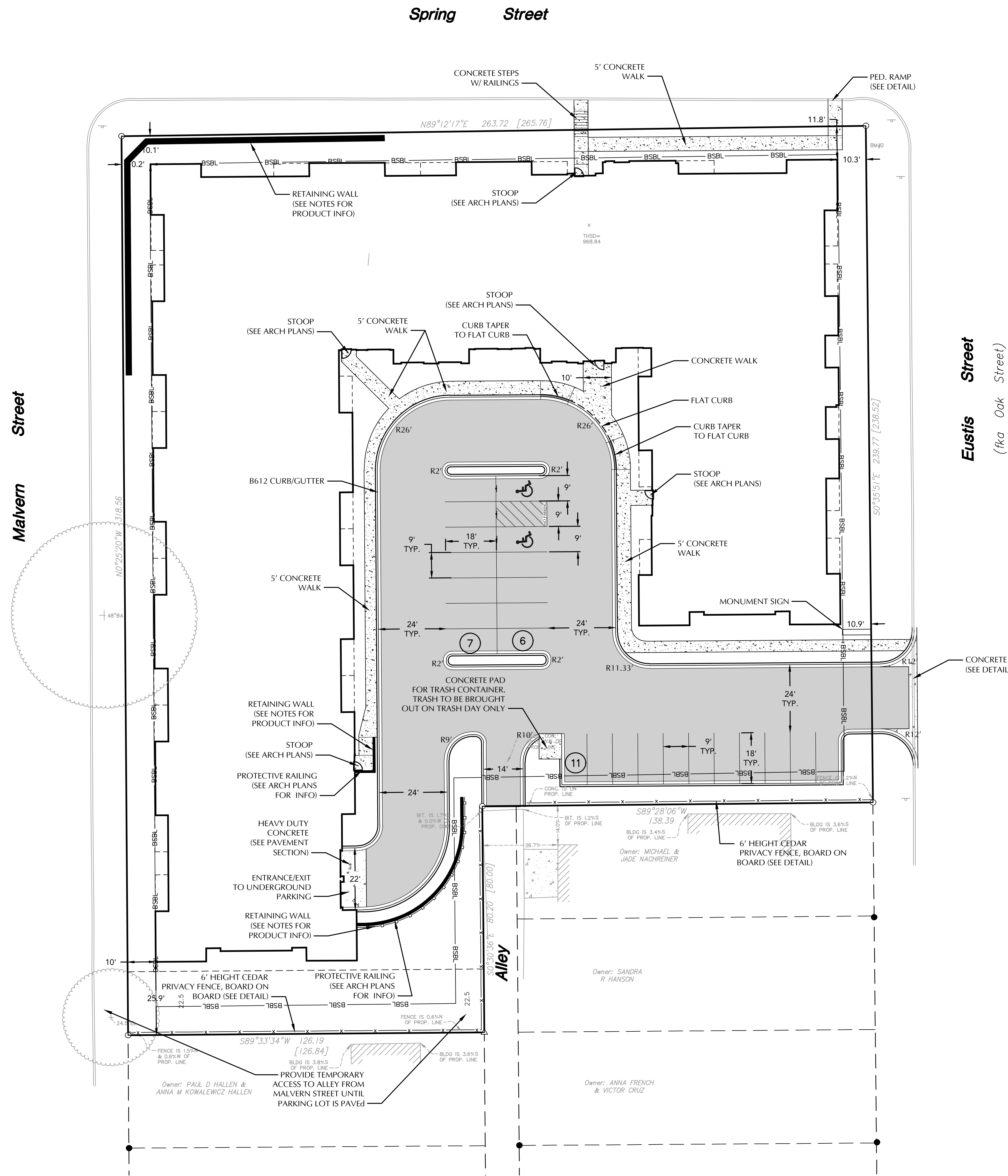
| | |
|--------------------|----------|
| Loucks Project No. | 1868000 |
| Project Lead | PJD |
| Drawn By | DDL |
| Checked By | BBB |
| Review Date | 10/30/20 |

SHEET INDEX

| | |
|------|---------------------|
| C1-1 | EXISTING CONDITIONS |
| C2-1 | SITE PLAN |
| C3-1 | GRADING PLAN |
| C3-2 | SWPPP |
| C3-3 | SWPPP |
| C4-1 | UTILITY PLAN |
| C8-1 | DETAILS |
| L1-1 | LANDSCAPE PLAN |

DEMOLITION PLAN

C1-2



SITE NOTES

1. ALL PAVING, CONCRETE CURB, CUTTER AND SIDEWALK SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH THE DETAILS SHOWN PER THE DETAIL SHEETS AND STATE/LOCAL JURISDICTION REQUIREMENTS.
2. ACCESSIBLE PARKING AND ACCESSIBLE ROUTES SHALL BE PROVIDED PER CURRENT ADA STANDARDS AND LOCAL/STATE REQUIREMENTS.
3. ALL CURB DIMENSIONS SHOWN ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
4. ALL BUILDING DIMENSIONS ARE TO THE OUTSIDE FACE OF WALL UNLESS OTHERWISE NOTED.
5. TYPICAL FULL SIZED PARKING STALL IS 9' X 18' WITH A 24' WIDE TWO WAY DRIVE UNLESS OTHERWISE NOTED.
6. ALL CURB RADI SHALL BE 3.0' UNLESS OTHERWISE NOTED.
7. BITUMINOUS IMPREGNATED FIBER BOARD TO BE PLACED AT FULL DEPTH OF CONCRETE ADJACENT TO EXISTING STRUCTURES AND BEHIND CURB ADJACENT TO DRIVEWAYS AND SIDEWALKS.
8. SEE SITE ELECTRICAL PLAN FOR SITE LIGHTING.
9. ANY EXISTING CONCRETE INFRASTRUCTURE IN THE PUBLIC RIGHT OF WAY, INCLUDING BUT NOT LIMITED TO PUBLIC SIDEWALKS, CURB AND GUTTER, AND ADA PEDESTRIAN RAMPS, THAT IS EITHER CURRENTLY DEFECTIVE OR THAT IS DAMAGED DURING THE TIME OF SITE RE-DEVELOPMENT, MUST BE REMOVED AND REPLACED AT THE TIME OF SITE RE-DEVELOPMENT.
10. SNOW TO BE REMOVED FROM SITE AS NEEDED TO KEEP ALL PARKING STALLS OPEN.
11. RETAINING WALL INFORMATION
SUPPLIER - ANCHOR WALL
PRODUCT - STERLING WALL SYSTEM
COLOR - BEIGE
CAP - INCLUDE ON ALL WALLS (COLOR: SAME)
12. CONTRACTOR TO SUPPLY RETAINING WALL SHOP DRAWINGS TO ENGINEER TO REVIEW ELEVATIONS. ALL WALLS OVER 4 FEET TO BE STRUCTURALLY DESIGNED BY A PROFESSIONAL ENGINEER.
13. ACCESS FROM THE ALLEY TO MALVERN STREET TO REMAIN UNTIL PARKING LOT HAS BEEN CONSTRUCTED.

| EXISTING | PROPOSED |
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SITE PLAN LEGEND

| | |
|--|--------------------------------|
| | CONCRETE SIDEWALK |
| | HEAVY-DUTY BITUMINOUS PAVEMENT |
| | HEAVY-DUTY CONCRETE PAVEMENT |

SITE DATA

| | |
|---------------------------|--------------------------|
| CURRENT ZONING: | R-1 SUBURBAN RESIDENTIAL |
| PROPERTY AREA: | 73,263 SF |
| EXISTING IMPERVIOUS AREA: | 44,531 SF (60.8%) |
| PROPOSED IMPERVIOUS AREA: | 55,513 SF (75.8%) |

ELEVATION NOTES

858.83 = ARCHITECTURAL 100' 0" (VERIFY WITH ARCHITECTURAL)

OFF-STREET PARKING CALCULATIONS

| | |
|--|---------------------|
| PROPOSED SURFACE PARKING PROVIDED | = 24 STALLS |
| PROPOSED GARAGE LOWER LEVEL | (SEE ARCHITECTURAL) |
| PROPOSED HANDICAPPED STALLS | = 2 STALLS |
| REQUIRED HANDICAP STALLS FOR 1-25 STALLS | = 1 STALLS |

CADD QUALIFICATION

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SUBMITTAL/REVISIONS

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| 01/09/19 | Preliminary City Submittal |
| 02/15/19 | City Submittal |
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| 10/30/20 | City Submittal |

PROFESSIONAL SIGNATURE

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

| | | |
|-------------|--------------|----------|
| License No. | PJ Dush - PE | 49933 |
| Date | | XX/XX/19 |

QUALITY CONTROL

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| Loucks Project No. | 18644.00 |
| Project Lead | PJD |
| Drawn By | DDL |
| Checked By | PJD |
| Review Date | 10/30/20 |

SHEET INDEX

| | |
|------|---------------------|
| C1-1 | EXISTING CONDITIONS |
| C2-1 | SITE PLAN |
| C3-1 | GRADING PLAN |
| C3-2 | SWPPP |
| C3-3 | SWPPP |
| C4-1 | UTILITY PLAN |
| C8-1 | DETAILS |
| L1-1 | LANDSCAPE PLAN |



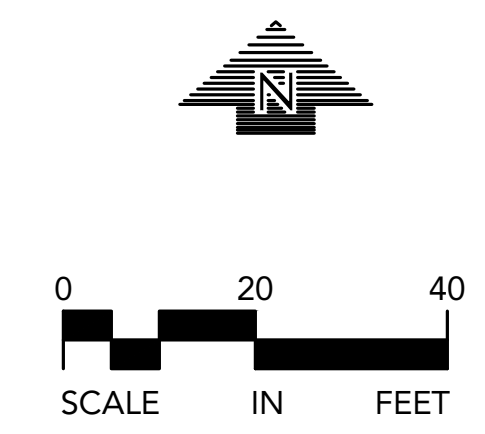
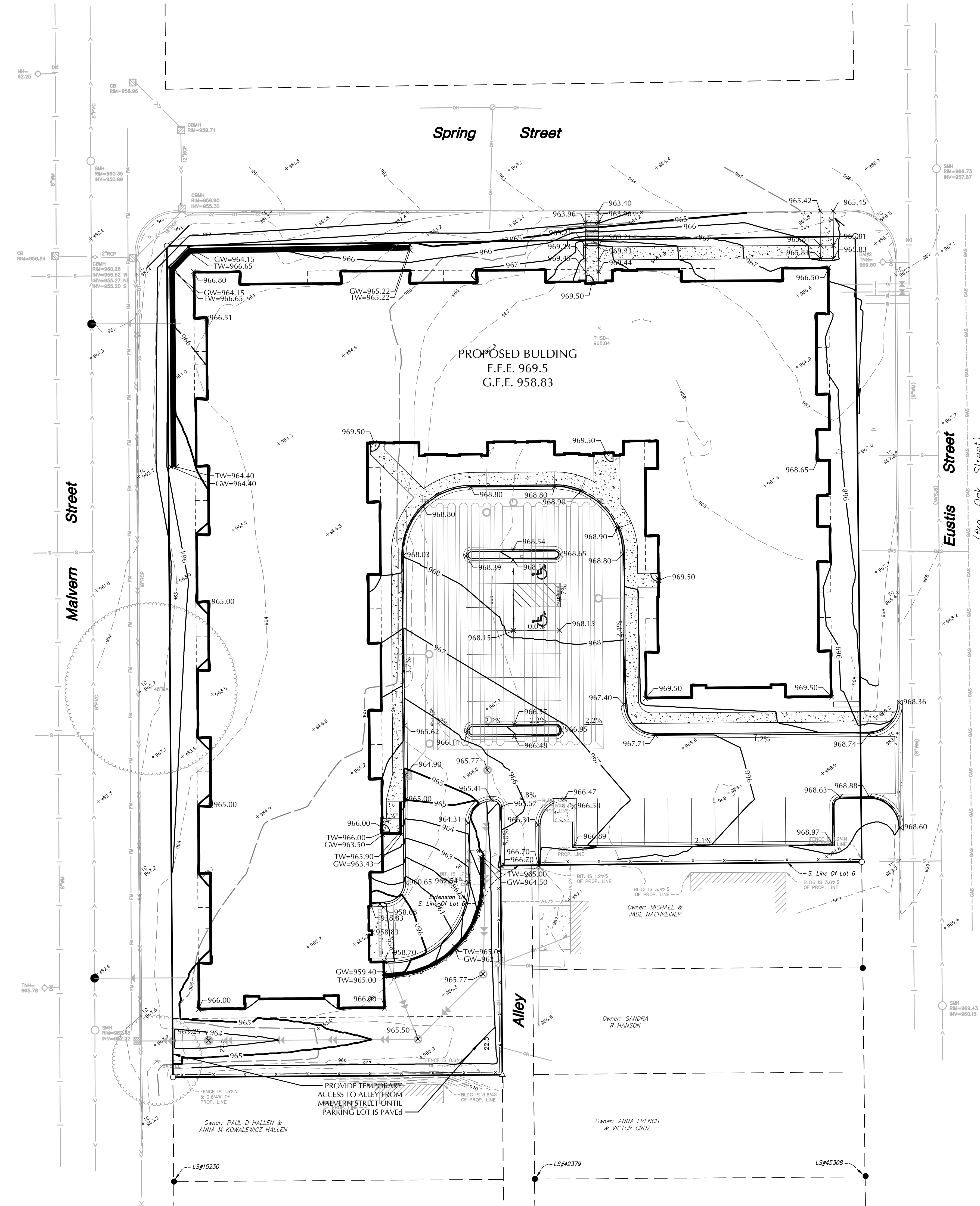
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SITE PLAN

C2-1



| EXISTING | PROPOSED |
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GRADING, DRAINAGE & EROSION CONTROL NOTES

- SPOT ELEVATIONS REPRESENT FINISHED SURFACE GRADES, GUTTER/FLOW LINE, FACE OF BUILDING, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- CATCH BASINS AND MANHOLES IN PAVED AREAS SHALL BE SUMPED 0.04 FEET. ALL CATCH BASINS IN GUTTERS SHALL BE SUMPED 0.16 FEET. RIM ELEVATIONS SHOWN ON PLANS DO NOT REFLECT SUMPED ELEVATIONS.
- ALL DISTURBED UNPAVED AREAS ARE TO RECEIVE MINIMUM OF 4 INCHES OF TOP SOIL AND SEED/MULCH OR SOD. THESE AREAS SHALL BE WATERED/MAINTAINED BY THE CONTRACTOR UNTIL VEGETATION IS ESTABLISHED.
- FOR SITE RETAINING WALLS "TW" EQUALS SURFACE GRADE AT TOP FACE OF WALL (NOT TOP OF WALL), AND "GW" EQUALS SURFACE GRADE AT BOTTOM FACE OF WALL (NOT BOTTOM OF BURIED WALL COURSES).
- RETAINING WALLS TO BE ANCHOR WALL, STERLING AND BEIGE IN COLOR. CONTRACTOR TO SUPPLY SHOP DRAWINGS TO ENGINEER TO REVIEW ELEVATIONS. ALL WALLS OVER 4 FEET TO BE STRUCTURALLY DESIGNED BY A PROFESSIONAL ENGINEER.
- STREETS MUST BE CLEANED AND SWEEPED WHENEVER TRACKING OF SEDIMENTS OCCURS AND BEFORE SITES ARE LEFT IDLE FOR WEEKENDS AND HOLIDAYS. A REGULAR SWEEPING SCHEDULE MUST BE ESTABLISHED.
- DUST MUST BE ADEQUATELY CONTROLLED.
- SEE SWPPP FOR ADDITIONAL EROSION CONTROL NOTES AND REQUIREMENTS.
- SEE UTILITY PLANS FOR WATER, STORM AND SANITARY SEWER INFORMATION.
- SEE SITE PLAN FOR CURB AND BITUMINOUS TAPER LOCATIONS

CADD QUALIFICATION

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PROFESSIONAL SIGNATURE

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

PJ Dush - PE
Date: 04/12/19

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| License No. | 18644.00 |
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| Drawn By | DDL |
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SWPPP NOTES

- THE NATURE OF THIS PROJECT WILL CONSIST OF CONSTRUCTING AN APARTMENT BUILDING, SURFACE PAVEMENTS, AND UTILITIES.
- THE INTENDED SEQUENCING OF MAJOR CONSTRUCTION ACTIVITIES ARE AS FOLLOWS:
 - INSTALL VEHICLE TRACKING BMP
 - INSTALL PERIMETER EROSION CONTROL AROUND SITE
 - CLEAR AND GRUB SITE
 - STRIP AND STOCKPILE TOPSOIL
 - REMOVE PAVEMENTS AND UTILITIES
 - CONSTRUCT STORMWATER MANAGEMENT FACILITY/FACILITIES
 - ROUGH GRADE SITE
 - IMPORT CLEAN FILL FOR REPLACEMENT AND BALANCE
 - INSTALL UTILITIES
 - INSTALL BUILDING FOUNDATIONS
 - INSTALL CURB AND GUTTER
 - INSTALL PAVEMENTS AND WALKS
 - INSTALL MINOR UTILITIES
 - FINAL GRADE SITE
 - REMOVE ACCUMULATED SEDIMENT FROM STORMWATER SYSTEMS
 - SEED AND MULCH
 - WHEN ALL CONSTRUCTION ACTIVITY IS COMPLETE AND THE SITE IS STABILIZED, REMOVE SILT FENCE AND RESEED ANY AREAS DISTURBED BY THE REMOVE.
- SITE DATA:

| | |
|------------------------------------|----------|
| AREA OF DISTURBANCE: | ±1.69 AC |
| PRE-CONSTRUCTION IMPERVIOUS AREA: | ±1.02 AC |
| POST-CONSTRUCTION IMPERVIOUS AREA: | ±1.27 AC |
- GENERAL SOIL TYPE: SEE GEOTECHNICAL EVALUATION REPORT
- THE LOCATION OF AREAS NOT TO BE DISTURBED MUST BE IDENTIFIED WITH FLAGS, STAKES, SIGNS, SILT FENCE, ETC. BEFORE CONSTRUCTION BEGINS.
- ALL DISTURBED GROUND LEFT INACTIVE FOR SEVEN (7) OR MORE DAYS SHALL BE STABILIZED BY SEEDING OR SODDING (ONLY AVAILABLE PRIOR TO SEPTEMBER 15) OR BY MULCHING OR COVERING OR OTHER EQUIVALENT CONTROL MEASURE.
- ON SLOPES 3:1 OR GREATER MAINTAIN SHEET FLOW AND MINIMIZE RILLS AND/OR GULLIES. SLOPE LENGTHS CAN NOT BE GREATER THAN 75 FEET.
- ALL STORM DRAINS AND INLETS MUST BE PROTECTED UNTIL ALL SOURCES OF POTENTIAL DISCHARGE ARE STABILIZED.
- TEMPORARY SOIL STOCKPILES MUST HAVE EFFECTIVE SEDIMENT CONTROL AND CAN NOT BE PLACED IN SURFACE WATERS OR STORM WATER CONVEYANCE SYSTEMS. TEMPORARY STOCKPILES WITHOUT SIGNIFICANT AMOUNT OF SILT, CLAY, OR ORGANIC COMPOUNDS ARE EXEMPT EX: CLEAN AGGREGATE STOCK PILES, DEMOLITION CONCRETE STOCKPILES, SAND STOCKPILES.
- SEDIMENT LADEN WATER MUST BE DISCHARGED TO A SEDIMENTATION BASIN WHENEVER POSSIBLE. IF NOT POSSIBLE, IT MUST BE TREATED WITH THE APPROPRIATE BMP'S.
- SOLID WASTE MUST BE DISPOSED OF PROPERLY AND MUST COMPLY WITH MPCA DISPOSAL REQUIREMENTS.
- EXTERNAL WASHING OF CONSTRUCTION VEHICLES MUST BE LIMITED TO A DEFINED AREA OF THE SITE. RUNOFF MUST BE PROPERLY CONTAINED.
- NO ENGINE DEGRADING IS ALLOWED ON SITE.
- THE OWNER WHO SIGNS THE NPDES PERMIT APPLICATION IS A PERMITTEE AND IS RESPONSIBLE FOR COMPLIANCE WITH ALL TERMS AND CONDITIONS OF THE PERMIT. THE OPERATOR (CONTRACTOR) WHO SIGNS THE NPDES PERMIT APPLICATION IS A PERMITTEE FOR PARTS I.B., PART I.I.C., PART I.I.B-F, PART V, PART IV AND APPLICABLE CONSTRUCTION ACTIVITY REQUIREMENTS FOUND IN APPENDIX A, PART C. OF THE NPDES PERMIT AND IS JOINTLY RESPONSIBLE WITH THE OWNER FOR COMPLIANCE WITH THOSE PORTIONS OF THE PERMIT.
- TERMINATION OF COVERAGE-PERMITTEES WISHING TO TERMINATE COVERAGE MUST SUBMIT A NOTICE OF TERMINATION (NOT) TO THE MPCA. ALL PERMITTEES MUST SUBMIT A NOT WITHIN 30 DAYS AFTER ONE OR MORE OF THE FOLLOWING CONDITIONS HAVE BEEN MET:
 - FINAL STABILIZATION, PER NPDES PERMIT PART IV.G. HAS BEEN ACHIEVED ON ALL PORTIONS OF THE SITE FOR WHICH THE PERMITTEE IS RESPONSIBLE.
 - TRANSFER OF OWNERSHIP AS DESCRIBED IN THE PERMIT.
- INSPECTIONS
 - INITIAL INSPECTION FOLLOWING SILT FENCE INSTALLATION BY CITY REPRESENTATIVE IS REQUIRED.
 - EXPOSED SOIL AREAS: ONCE EVERY 7 DAYS AND WITHIN 24 HOURS FOLLOWING A 0.5" OVER 24 HOUR RAIN EVENT.
 - STABILIZED AREAS: ONCE EVERY 30 DAYS
 - FROZEN GROUND: AS SOON AS RUNOFF OCCURS OR PRIOR TO RESUMING CONSTRUCTION.

- INSPECTION AND MAINTENANCE RECORDS MUST BE RETAINED FOR 3 YEARS AFTER FILING OF THE NOTICE OF TERMINATION AND MUST INCLUDE: DATE AND TIME OF ACTION, NAME OF PERSON(S) CONDUCTING WORK, FINDING OF INSPECTIONS AND RECOMMENDATIONS FOR CORRECTIVE ACTION, DATE AND AMOUNT OF RAINFALL EVENTS GREATER THAN 0.5 INCHES IN A 24 HOUR PERIOD.
- MINIMUM MAINTENANCE
 - SILT FENCE TO BE REPAIRED, REPLACED, SUPPLEMENTED WHEN NONFUNCTIONAL, OR 1/3 FULL; WITHIN 24 HOURS
 - SEDIMENT BASINS DRAINED AND SEDIMENT REMOVED WHEN REACHES 1/2 STORAGE VOLUME. REMOVAL MUST BE COMPLETE WITHIN 72 HOURS OF DISCOVERY.
 - SEDIMENT REMOVED FROM SURFACE WATERS WITHIN (7)SEVEN DAYS
 - CONSTRUCTION SITE EXITS INSPECTED, TRACKED SEDIMENT REMOVED WITH 24 HOURS.
 - PROVIDE COPIES OF EROSION INSPECTION RESULTS TO CITY ENGINEER FOR ALL EVENTS GREATER THAN 1/2" IN 24 HOURS
 - THE SWPPP, INCLUDING ALL CHANGES TO IT, AND INSPECTIONS AND MAINTENANCE RECORDS MUST BE KEPT AT THE SITE DURING CONSTRUCTION ACTIVITY BY THE PERMITTEES WHO HAVE OPERATIONAL CONTROL OF THE SITE.
 - OWNER MUST KEEP RECORDS OF ALL PERMITS REQUIRED FOR THE PROJECT, THE SWPPP, ALL INSPECTIONS AND MAINTENANCE, PERMANENT OPERATION AND MAINTENANCE AGREEMENTS, AND REQUIRED CALCULATIONS FOR TEMPORARY AND PERMANENT STORM WATER MANAGEMENT SYSTEMS. THESE RECORDS MUST BE RETAINED FOR THREE YEARS AFTER FILING NPDES NOTICE OF TERMINATION.
 - SWPPP MUST BE AMENDED WHEN:
 - THERE IS A CHANGE IN DESIGN, OPERATION, MAINTENANCE, WEATHER OR SEASONAL CONDITIONS THAT HAS A SIGNIFICANT EFFECT ON DISCHARGE
 - INSPECTIONS INDICATE THAT THE SWPPP IS NOT EFFECTIVE AND DISCHARGE IS EXCEEDING WATER QUALITY STANDARDS.
 - THE BMP'S IN THE SWPPP ARE NOT CONTROLLING POLLUTANTS IN DISCHARGES OR IS NOT CONSISTENT WITH THE TERMS AND CONDITIONS OF THE PERMIT.
 - CONCRETE WASHOUT AREA
 - CONTRACTOR TO PROVIDE PREFABRICATED CONCRETE WASH-OUT CONTAINER WITH RAIN PROTECTION PER PLAN.
 - CONCRETE WASH-OUT TO BE IDENTIFIED WITH SIGNAGE STATING "CONCRETE WASHOUT AREA DO NOT OVERTILL".
 - CONCRETE WASHOUT WATER NEEDS TO BE PUMPED WITHIN 24 HOURS OF STANDING WATER IN WASHOUT AREA.
 - IN THE EVENT OF ENCOUNTERING A WELL OR SPRING DURING CONSTRUCTION CONTRACTOR TO CEASE CONSTRUCTION ACTIVITY AND NOTIFY ENGINEER.
 - PIPE OULLETS MUST BE PROVIDED WITH TEMPORARY OR PERMANENT ENERGY DISSIPATION WITHIN 24 HOURS AFTER CONNECTION TO A SURFACE WATER.
 - FINAL STABILIZATION

FINAL STABILIZATION REQUIRES THAT ALL SOIL DISTURBING ACTIVITIES HAVE BEEN COMPLETED AND THAT DISTURBED AREAS ARE STABILIZED BY A UNIFORM PERENNIAL VEGETATIVE COVER WITH 70% OF THE EXPECTED FINAL DENSITY, AND THAT ALL PERMANENT PAVEMENTS HAVE BEEN INSTALLED. ALL TEMPORARY BMP'S SHALL BE REMOVED, DITCHES STABILIZED, AND SEDIMENT SHALL BE REMOVED FROM PERMANENT CONVEYANCES AND SEDIMENTATION BASINS IN ORDER TO RETURN THE POND TO DESIGN CAPACITY.
 - RESPONSIBILITIES
 - THE OWNER MUST IDENTIFY A PERSON WHO WILL OVERSEE THE SWPPP IMPLEMENTATION AND THE PERSON RESPONSIBLE FOR INSPECTION AND MAINTENANCE:

CONTACT: _____

COMPANY: _____

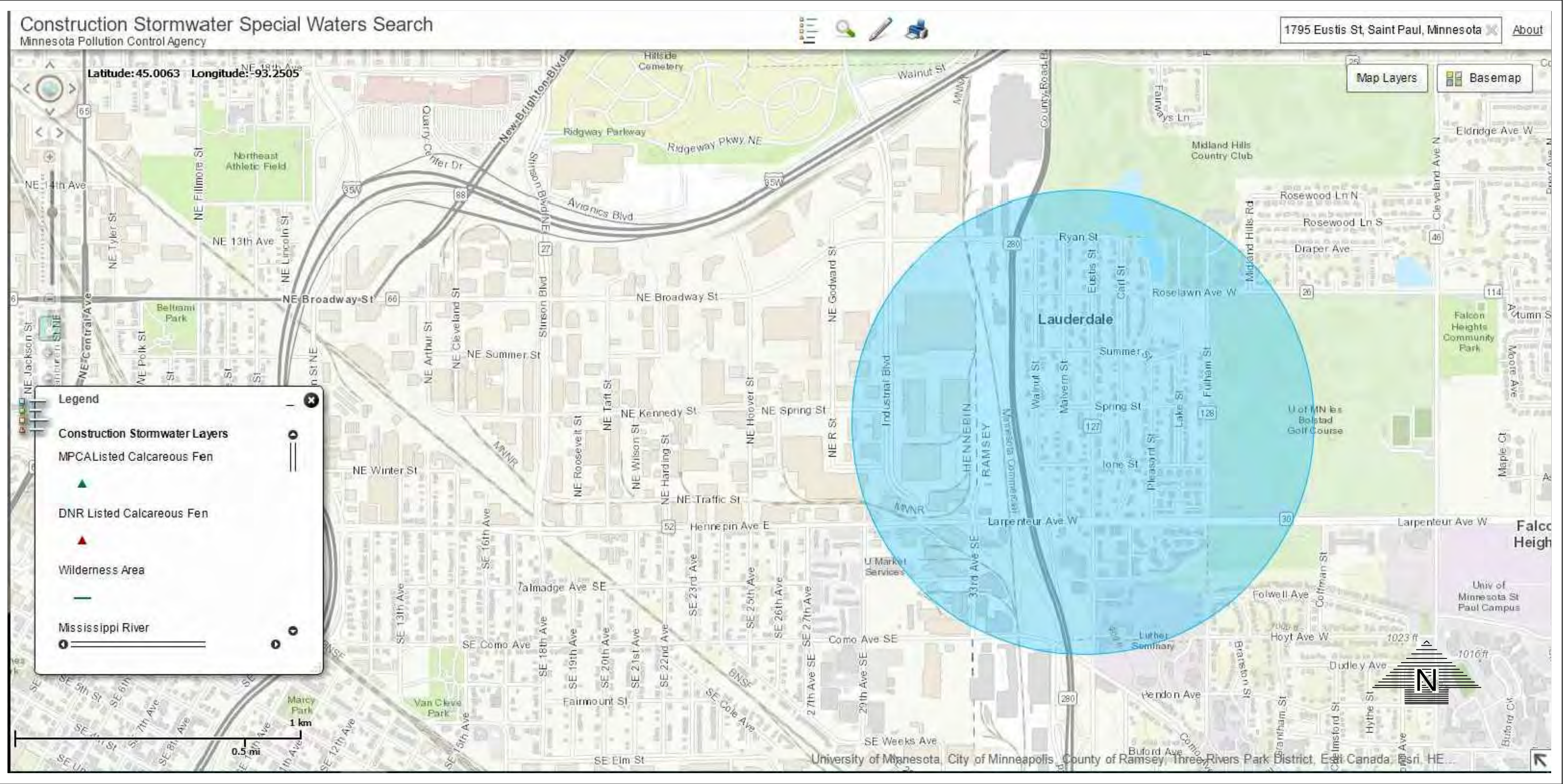
PHONE: _____
 - THE OWNER MUST IDENTIFY THE A PERSON WHO WILL BE RESPONSIBLE FOR LONG TERM OPERATIONS AND MAINTENANCE OF THE PERMANENT STORMWATER MANAGEMENT SYSTEM:

CONTACT: _____

COMPANY: _____

PHONE: _____
 - THE WATERSHED DISTRICT OR THE CITY MAY HAVE REQUIREMENTS FOR INSPECTIONS OR AS-BUILT DRAWINGS VERIFYING PROPER CONSTRUCTION OF THE BMP'S.

CONSTRUCTION STORMWATER SPECIAL WATERS SEARCH MAP



SITE VICINITY MAP

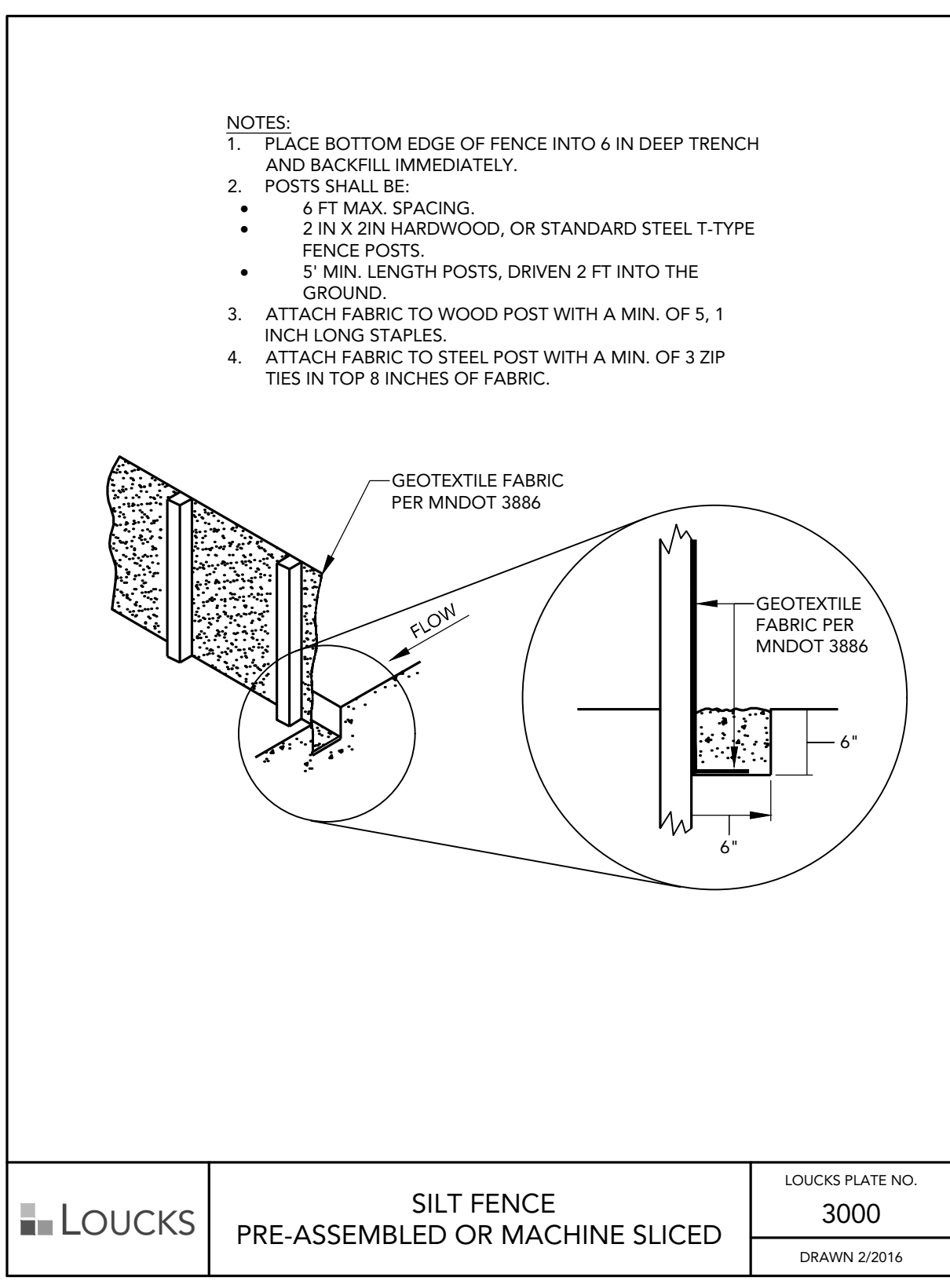


ESTIMATED QUANTITIES

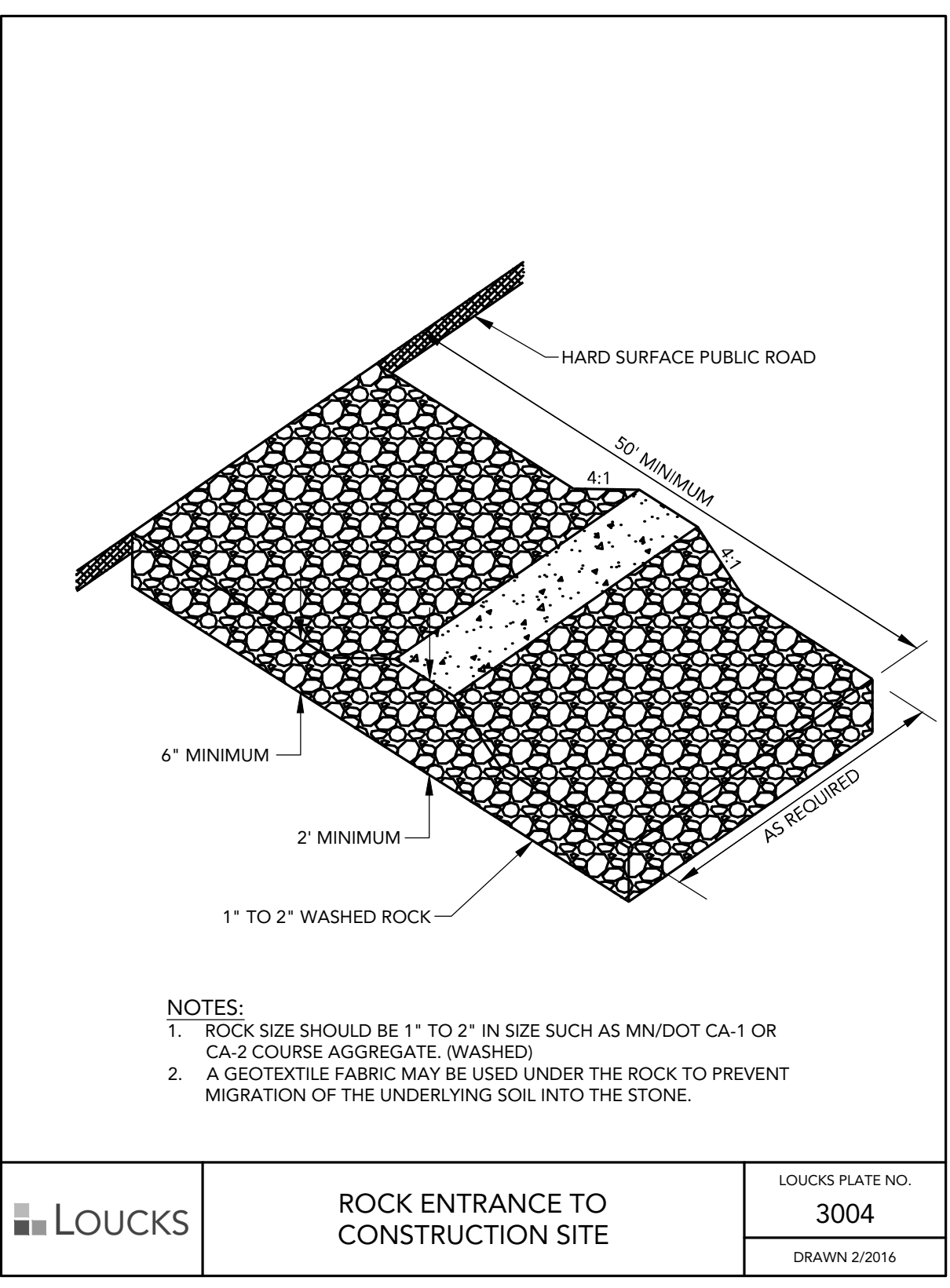
| DESCRIPTION | UNIT | QUANTITY |
|--------------------------------------|------|----------|
| TEMPORARY ROCK CONSTRUCTION ENTRANCE | EA | 1 |
| EROSION CONTROL BLANKET | SF | 735 |
| SILT FENCE | LF | 342 |
| INLET PROTECTION | EA | 7 |
| BIO-ROLLS | LF | 770 |

UNIVERSITY OF MINNESOTA
Samuel Trebesch

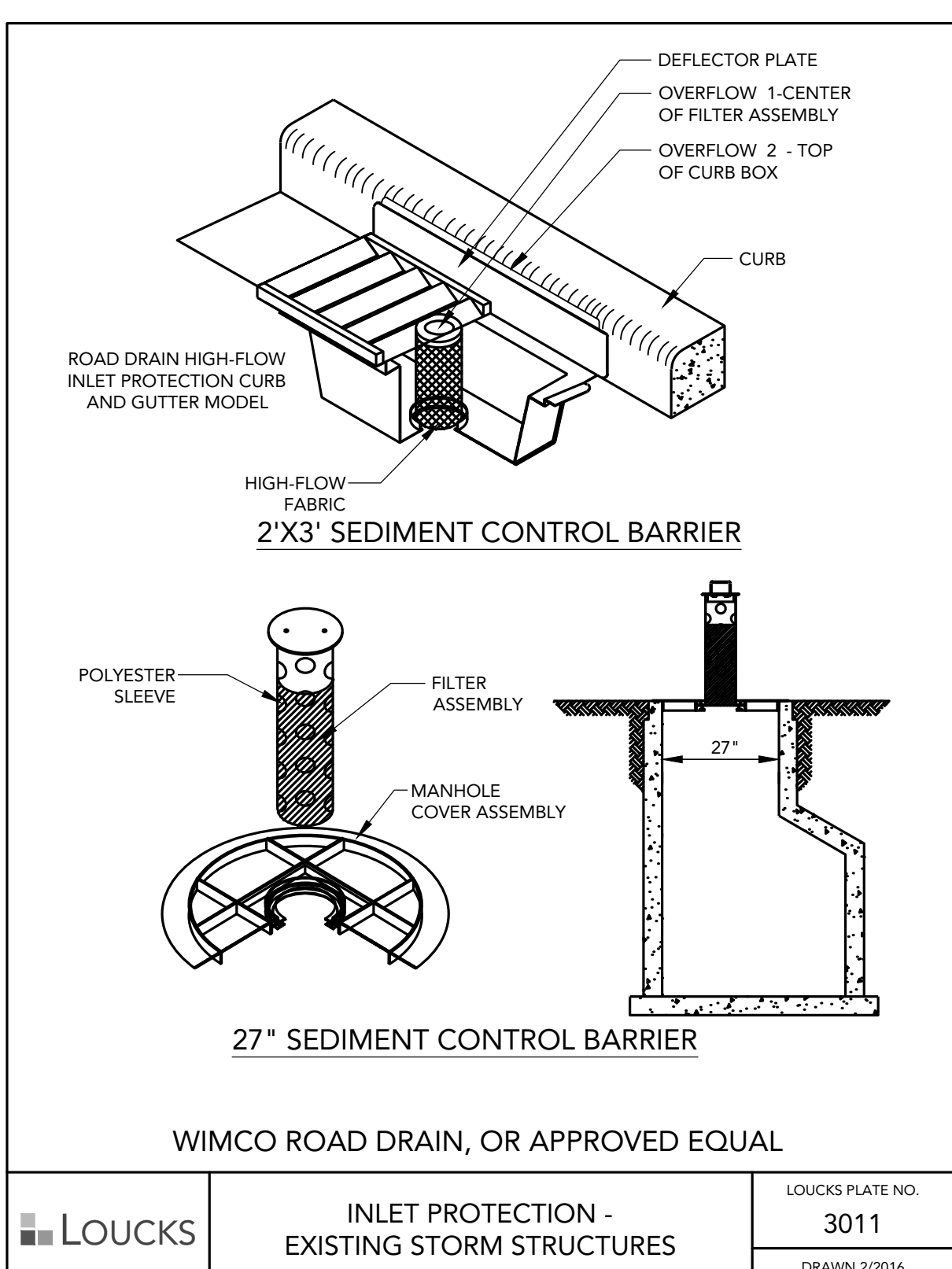
Design of Construction SWPPP (May 31 2021)



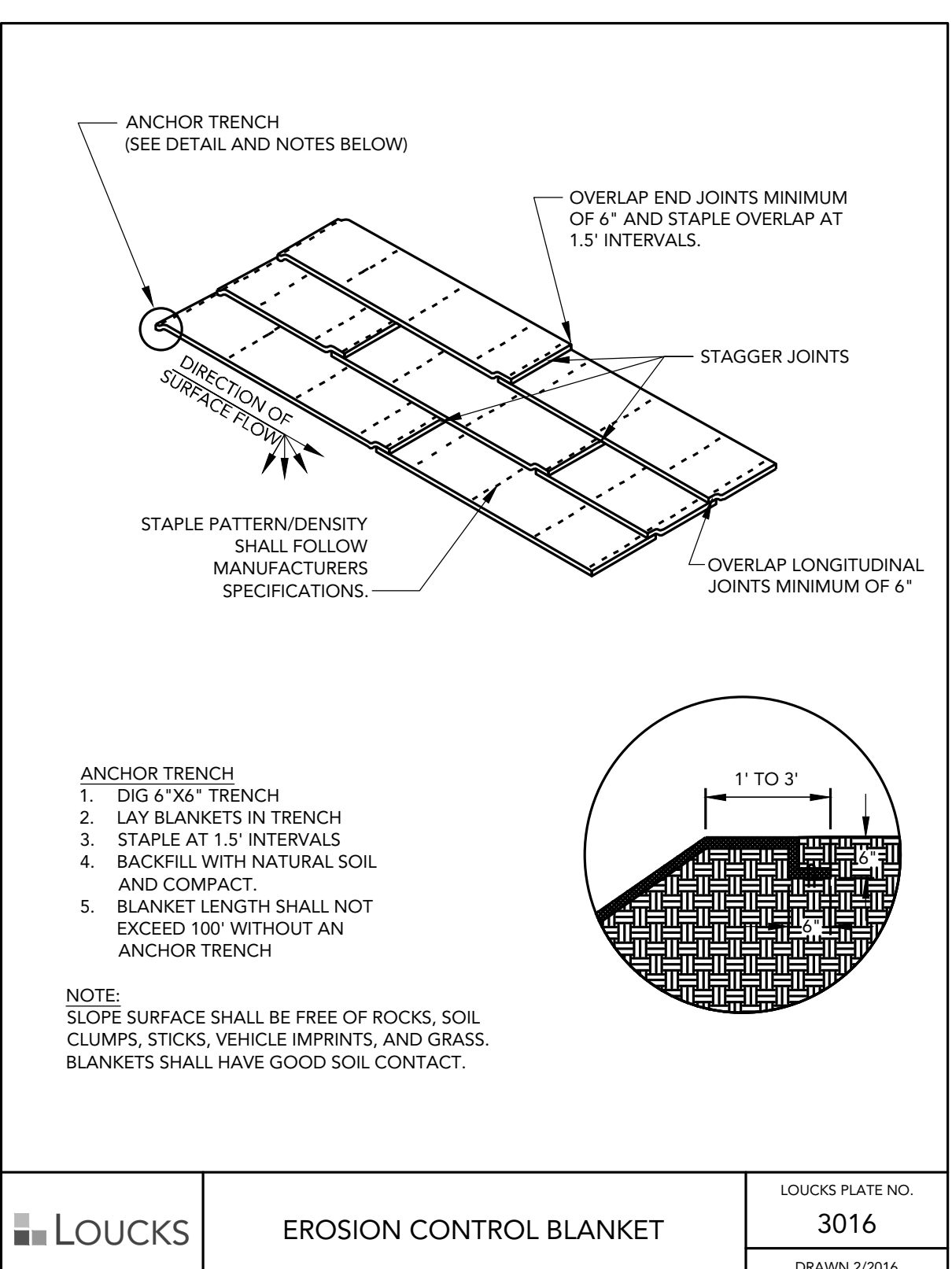
LOUCKS SILT FENCE PRE-ASSEMBLED OR MACHINE SLICED LOUCKS PLATE NO. 3000 DRAWN 2/2016



LOUCKS ROCK ENTRANCE TO CONSTRUCTION SITE LOUCKS PLATE NO. 3004 DRAWN 2/2016



LOUCKS INLET PROTECTION - EXISTING STORM STRUCTURES LOUCKS PLATE NO. 3011 DRAWN 2/2016



LOUCKS EROSION CONTROL BLANKET LOUCKS PLATE NO. 3016 DRAWN 2/2016

LAUDERDALE SENIOR HOUSING
1795 EUSTIS ST, LAUDERDALE, MN

REAL ESTATE EQUITIES

579 SELBY AVE, ST. PAUL, MN 55102

LOUCKS
PLANNING CIVIL ENGINEERING LAND SURVEYING LANDSCAPE ARCHITECTURE ENVIRONMENTAL

7200 Hemlock Lane, Suite 300
Maple Grove, MN 55369
763.424.5505
www.locksinc.com

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License No. Doug@CA30088 LA 49993
Date XX/XX/19

QUALITY CONTROL

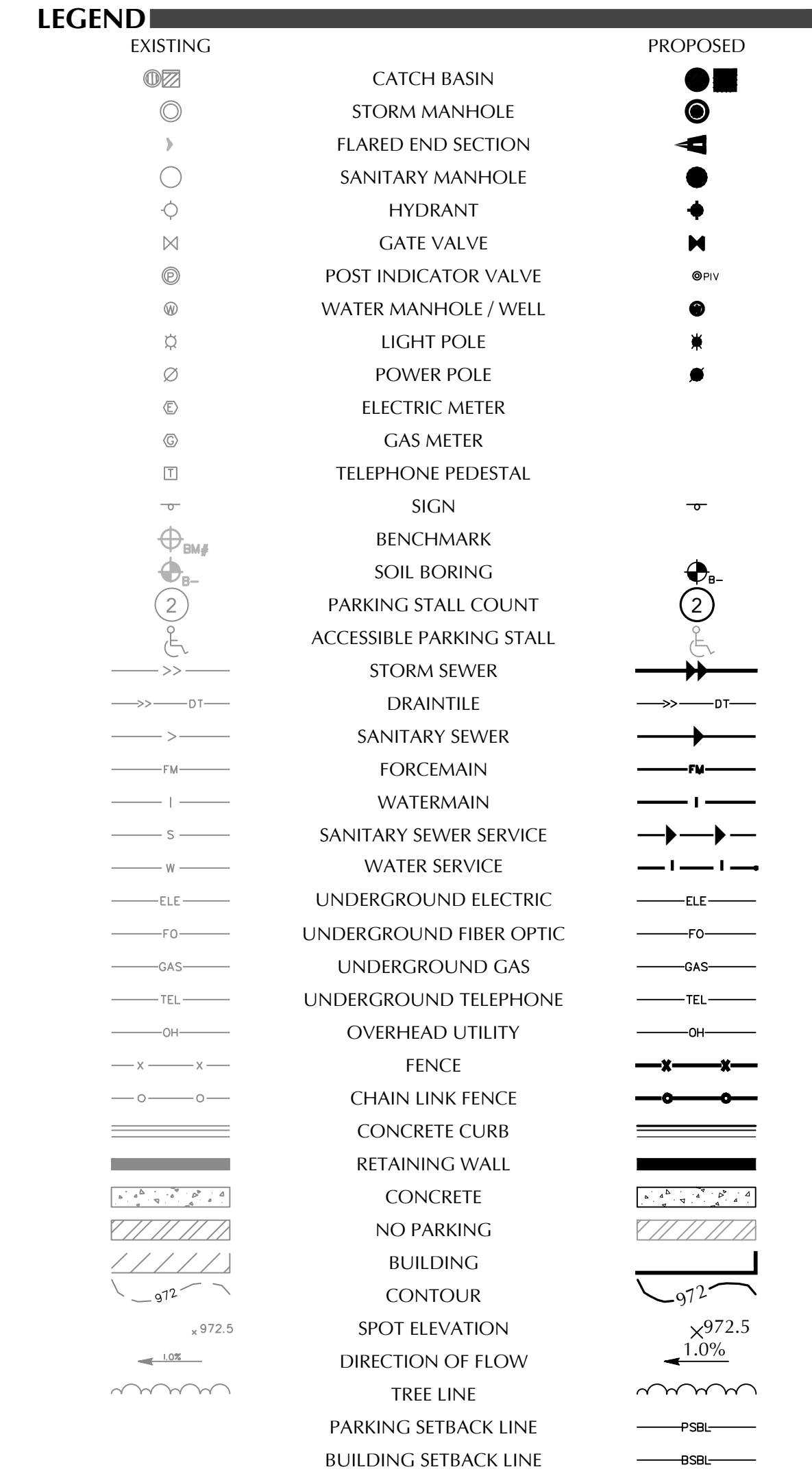
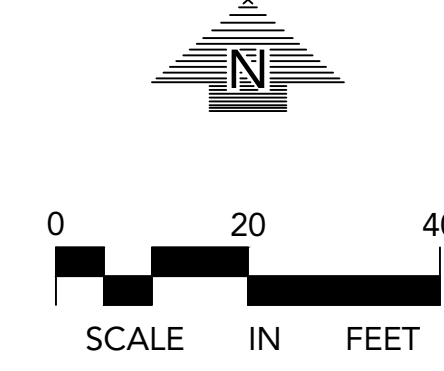
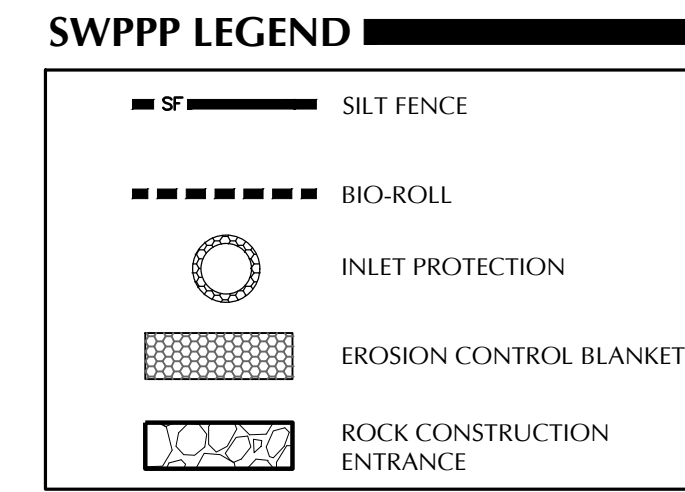
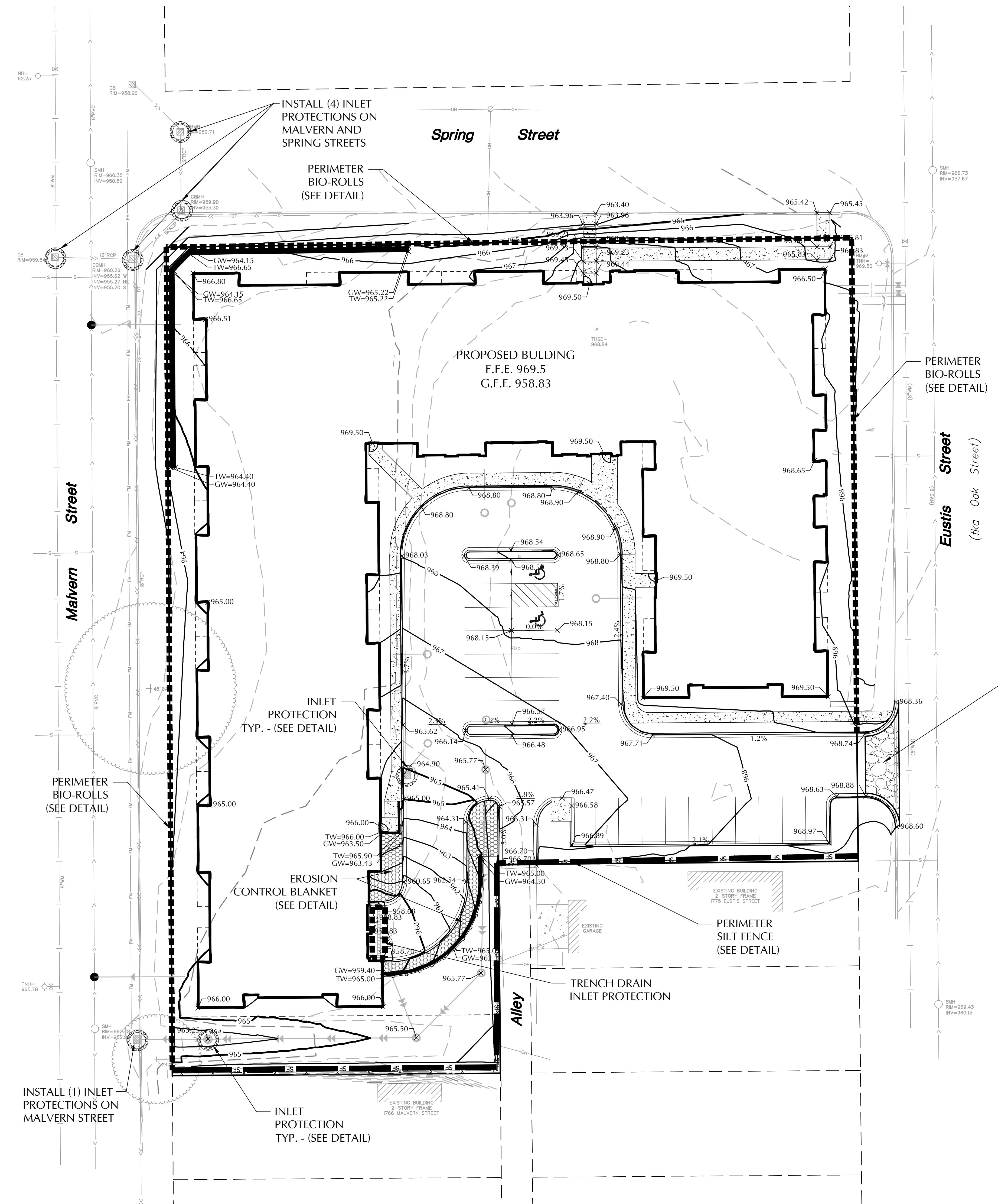
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|-------------------|----------|
| Locks Project No. | 1849800 |
| Project Lead | PJD |
| Drawn By | DDL |
| Checked By | BBB |
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| | |
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STORMWATER POLLUTION PREVENTION PLAN

C3-2



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Date XX/XX/19

QUALITY CONTROL

Loucks Project No. 1808000
Project Lead PJD
Drawn By DDL
Checked By BBD
Review Date 10/30/20

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CALL BEFORE YOU DIG!
Gopher State One Call
TWIN CITY AREA: 651-454-0002
TOLL FREE: 1-800-252-1166

WARNING:

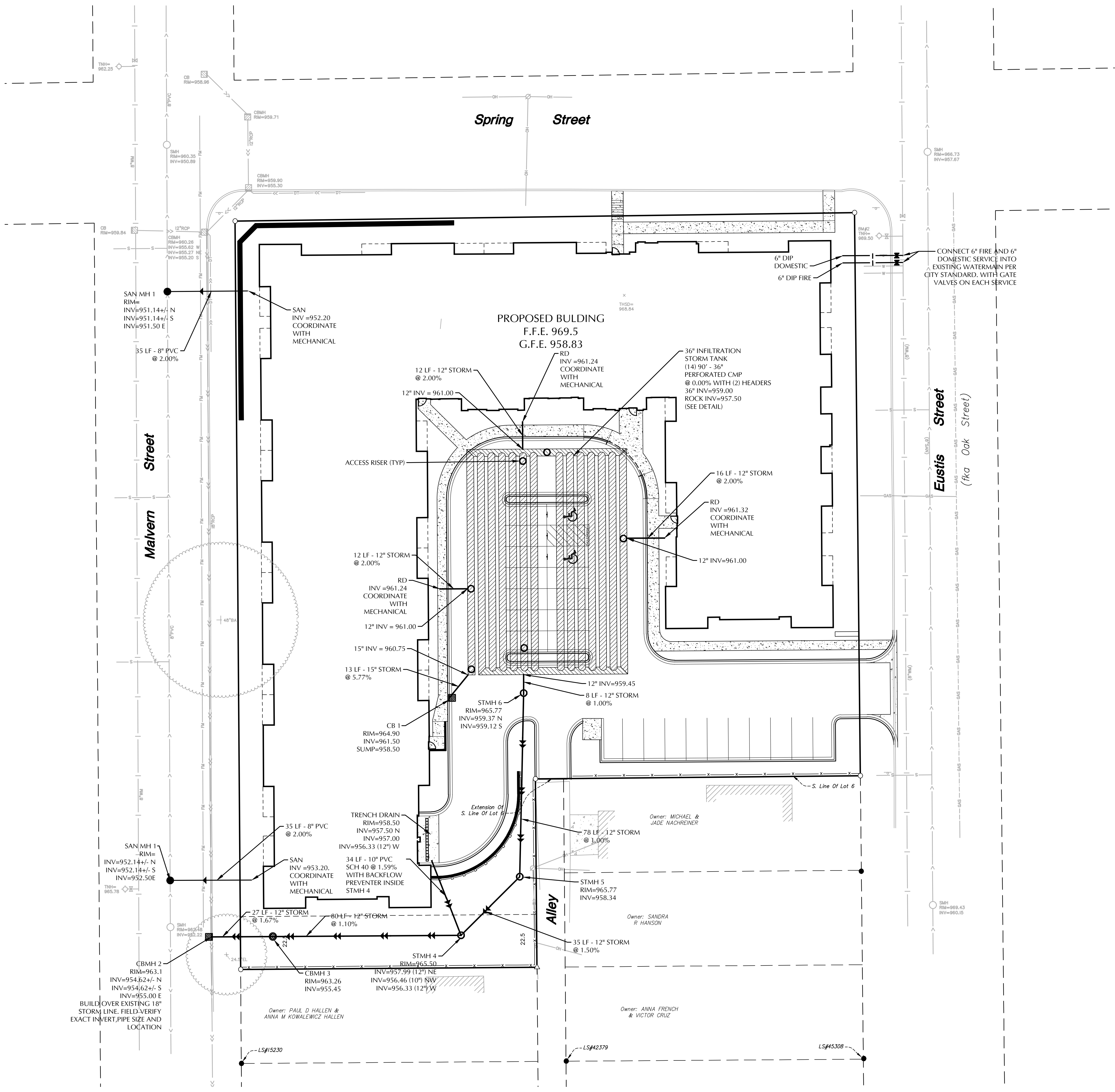
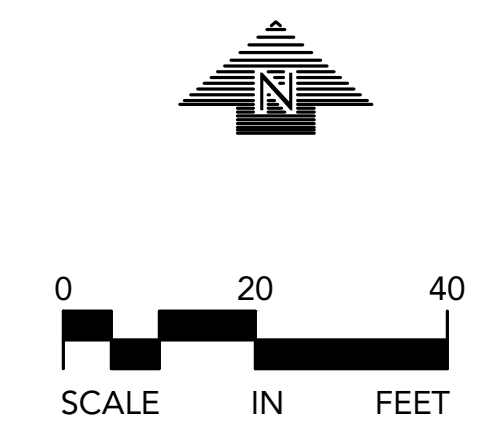
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STORMWATER POLLUTION PREVENTION PLAN

C3-2

| EXISTING | PROPOSED |
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UTILITY NOTES

- ALL SANITARY SEWER, STORM SEWER AND WATERMAIN UTILITIES SHALL BE FURNISHED AND INSTALLED PER THE REQUIREMENTS OF THE SPECIFICATIONS, THE MINNESOTA PLUMBING CODE, THE LOCAL GOVERNING UNIT, AND THE STANDARD UTILITIES SPECIFICATION OF THE CITY ENGINEERS ASSOCIATION OF MINNESOTA (CEAM), 2013 EDITION.
- ALL UTILITY PIPE BEDDING SHALL BE COMPACTED SAND OR FINE GRANULAR MATERIAL. ALL COMPACTION SHALL BE PERFORMED PER THE REQUIREMENTS OF THE CEAM SPECIFICATION AND THE GEOTECHNICAL REPORT.
- ALL CONNECTIONS TO EXISTING UTILITIES SHALL BE PERFORMED PER THE REQUIREMENTS OF THE STATE AND LOCAL JURISDICTIONS. THE CITY DEPARTMENT OF ENGINEERING AND BUILDING INSPECTIONS DEPARTMENT AND THE CONTRACTOR MUST BE NOTIFIED AT LEAST 48 HOURS PRIOR TO ANY WORK WITHIN THE PUBLIC RIGHT OF WAY, OR WORK IMPACTING PUBLIC UTILITIES.
- ALL STORM SEWER, SANITARY SEWER AND WATER SERVICES SHALL TERMINATE 5' FROM THE BUILDING FACE UNLESS OTHERWISE NOTED.
- A MINIMUM OF 18 INCHES OF VERTICAL SEPARATION AND 10 FEET OF HORIZONTAL SEPARATION IS REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
- ALL NEW WATERMAIN AND SERVICES MUST HAVE A MINIMUM OF 7.5 FEET OF COVER. EXTRA DEPTH MAY BE REQUIRED TO MAINTAIN A MINIMUM 18" VERTICAL SEPARATION TO SANITARY OR STORM SEWER LINES. THE CONTRACTOR SHALL FIELD ADJUST WATERMAIN TO AVOID CONFLICTS WITH SANITARY SEWER, STORM SEWER, AND SERVICES AS REQUIRED. INSULATION OF WATER AND SANITARY SEWER LINES SHALL BE PROVIDED WHERE 7.5 FEET MINIMUM DEPTH CAN NOT BE ATTAINED.
- ALL FIRE HYDRANTS SHALL BE LOCATED 5 FEET BEHIND BACK OF CURB OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- ALL PORTIONS OF THE STORM SEWER SYSTEM, INCLUDING CATCH BASINS, LOCATED WITHIN 10 FEET OF THE BUILDING OR WATER SERVICE LINE MUST BE TESTED ACCORDANCE WITH MINNESOTA RULES, PART 4715.2820
- ALL JOINTS AND CONNECTIONS IN THE STORM SEWER SYSTEM SHALL BE GASTIGHT OR WATERTIGHT (SEE MINNESOTA RULES, PART 4715.0700). APPROVED RESILIENT RUBBER JOINTS MUST BE USED TO MAKE WATERTIGHT CONNECTIONS TO MANHOLES, CATCHBASINS, AND OTHER STRUCTURES.
- HIGH-DENSITY POLYETHYLENE (HDPE) STORM DRAINS MUST COMPLY WITH MINNESOTA RULES, PART 4715.0540.
 - PIPES 4-INCH TO 10-INCH IN SIZE MUST COMPLY WITH AASHTO M252.
 - PIPES 12-INCH TO 60-INCH IN SIZE MUST COMPLY WITH ASTM F2306.
 - ALL FITTINGS MUST COMPLY WITH ASTM D3212.
 - WATER-TIGHT JOINTS MUST BE USED AT ALL CONNECTIONS INCLUDING STRUCTURES.
- CONTRACTOR AND MANHOLE FABRICATOR SHALL SUMP (LOWER) ALL STORM SEWER CATCH BASIN CASTINGS WITHIN PAVED AREAS 0.16 FEET OR 2-INCHES BELOW THE RIM ELEVATION DEPICTED ON THE UTILITY PLAN.
- ALL STREET REPAIRS AND PATCHING SHALL BE PERFORMED PER THE REQUIREMENTS OF THE CITY. ALL TRAFFIC CONTROL SHALL BE PROVIDED BY THE CONTRACTOR AND SHALL BE ESTABLISHED PER THE REQUIREMENTS OF THE MINNESOTA MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND THE CITY. THIS SHALL INCLUDE ALL SIGNAGE, BARRICADES, FLASHERS AND FLAGGERS AS NEEDED. ALL PUBLIC STREETS SHALL BE OPEN TO TRAFFIC AT ALL TIMES. NO ROAD CLOSURES SHALL BE PERMITTED WITHOUT THE EXPRESSED AUTHORITY OF THE CITY.
- THE CITY SHALL OPERATE ALL GATE VALVES.
- CONNECTIONS TO EXISTING MANHOLES SHALL BE MADE BY CORE DRILLING THE MANHOLE AT THE PROPOSED INVERT ELEVATIONS AND INSTALLING A RUBBER BOOT, GROUT IN THE BOOT AND AN INVERT FOR THE NEW SEWER LINE.
- PIPE LENGTHS SHOWN ON THE PLAN INCLUDE THE APRON SECTION.
- WATERMAIN PIPE SHALL BE DIP CLASS 52, INSTALLED WITH 7.5 FEET OF COVER TO TOP PIPE. FITTINGS SHALL BE COMPACT TYPE. PIPE AND FITTINGS SHALL HAVE A CEMENT MORTAR LINING. CONDUCTIVITY SHALL BE PROVIDED BY WELDED STRAPS ACROSS EACH JOINT.
- TRENCH COMPACTION SHALL BE 95% STANDARD PROCTOR DENSITY IN THE AREA FROM THE PIPE ZONE TO WITHIN 3 FEET OF FINISHED GRADE AND 100% IN FINAL 3 FEET OF THE BACKFILL TO FINISH GRADE.

CADD QUALIFICATION

CADD files prepared by the Consultant for this project are prepared by the Consultant professional services for use solely with respect to this project. These CADD files shall not be used on other projects, with the addition to this project, or for completion of this project by others without written approval by the Consultant, with the Consultant's agreement, others may be permitted to obtain copies of the CADD drawing files for information and reference only. All intellectual or confidential matters, additions, or deletions to these CADD files shall be made in the field of the project and shall not be made in the office of the Consultant and the user shall hold harmless and indemnify the Consultant from any & all responsibilities, claims, and liabilities.

SUBMITTAL/REVISIONS

| Date | Description |
|----------|----------------------------|
| 01/09/19 | Preliminary City Submittal |
| 02/15/19 | City Submittal |
| 04/12/19 | City Submittal |
| 10/30/20 | City Submittal |

PROFESSIONAL SIGNATURE

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

| License No. | PJ/Dist - PE | 49933 |
|-------------|--------------|----------|
| Date | | XX/XX/19 |

QUALITY CONTROL

| | |
|--------------------|----------|
| Loucks Project No. | 18644.00 |
| Project Lead | PJD |
| Drawn By | DDL |
| Checked By | PJD |
| Review Date | 10/30/20 |

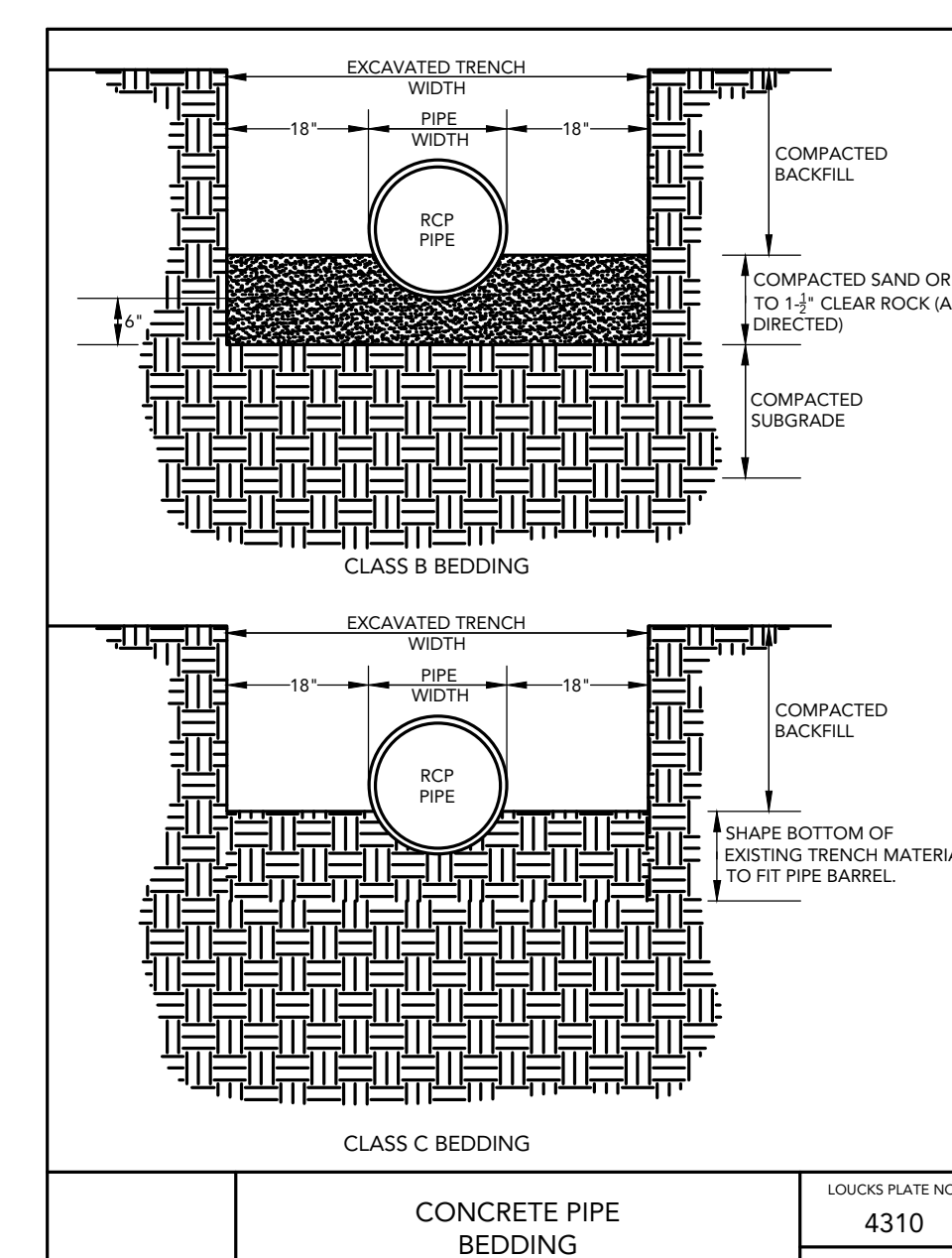
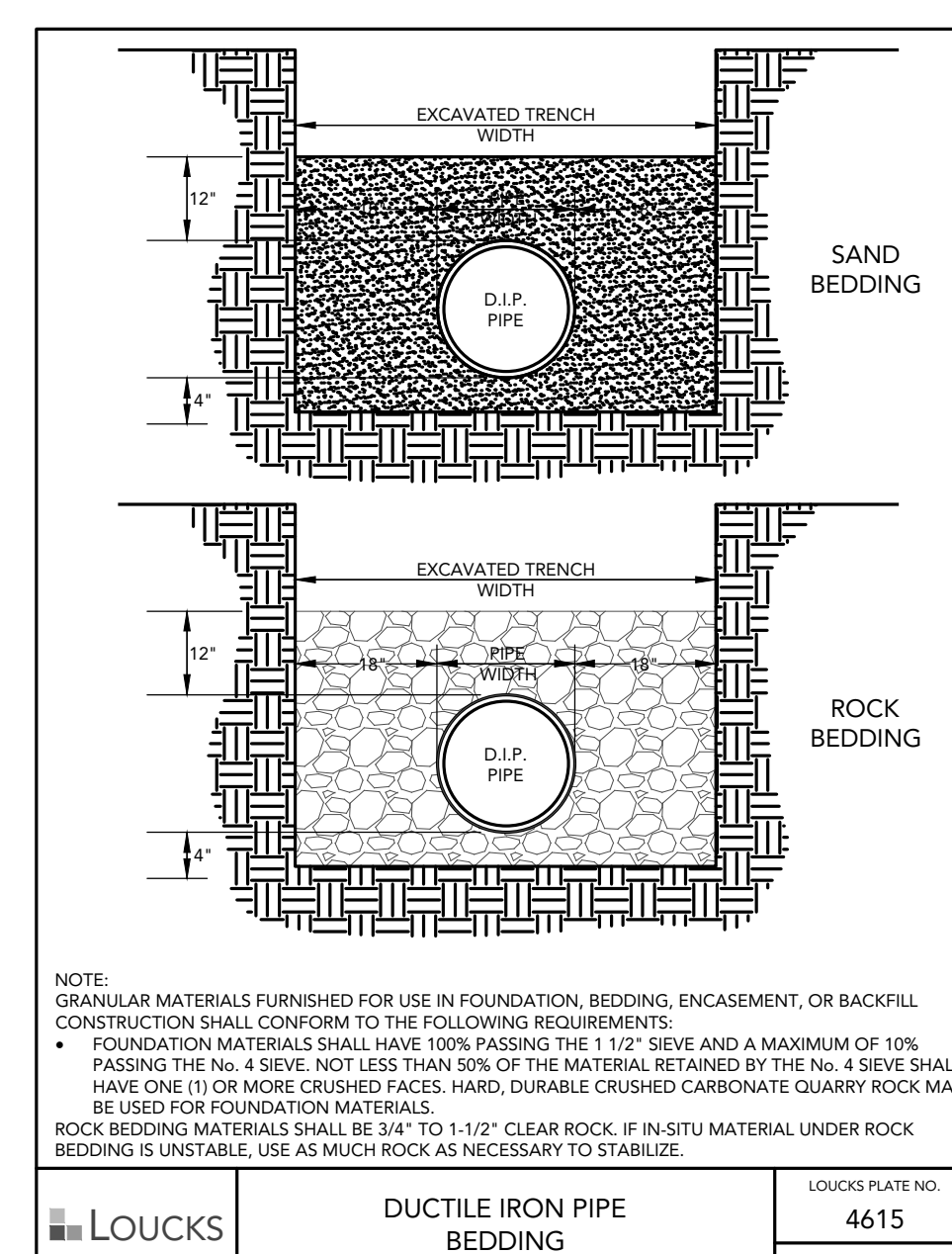
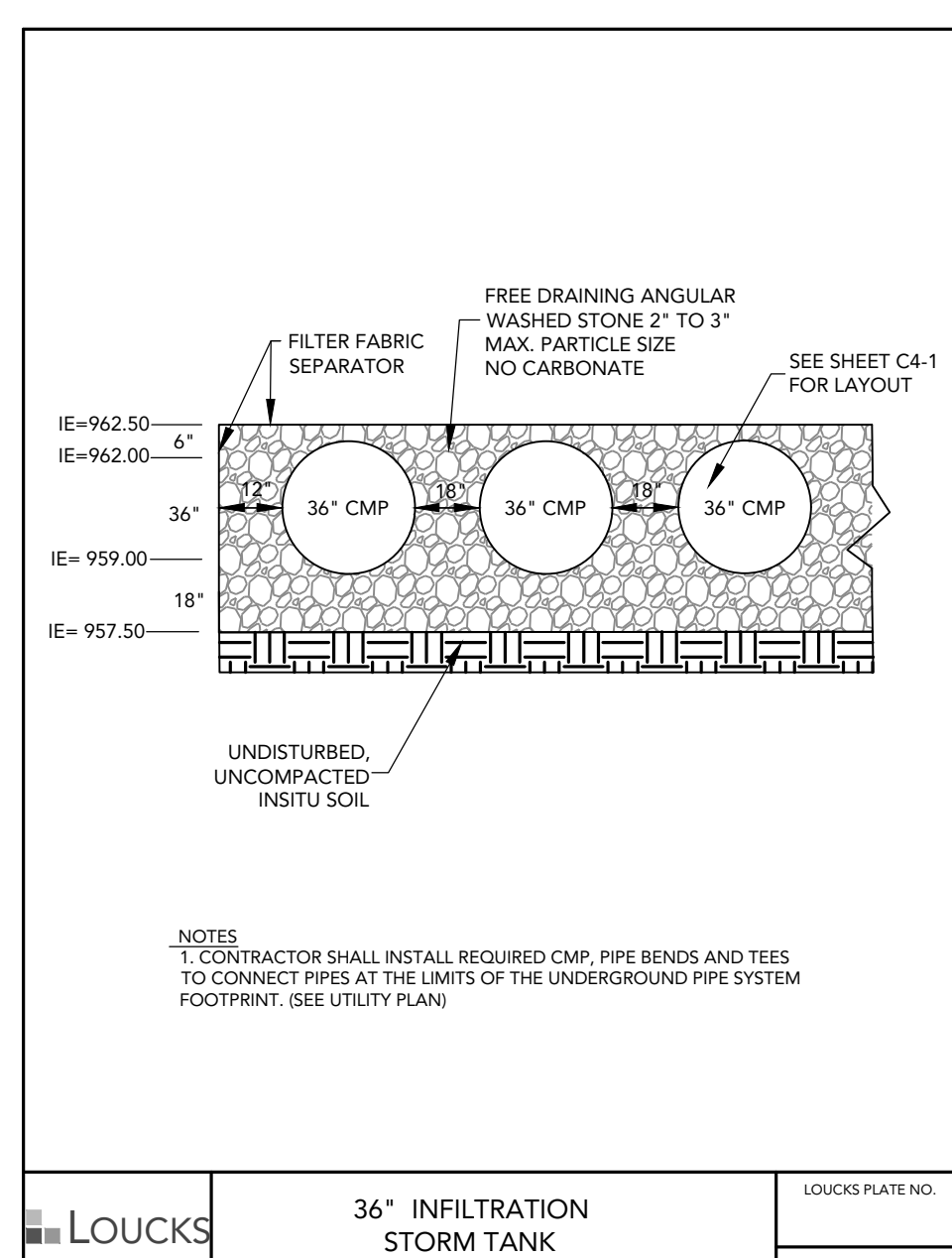
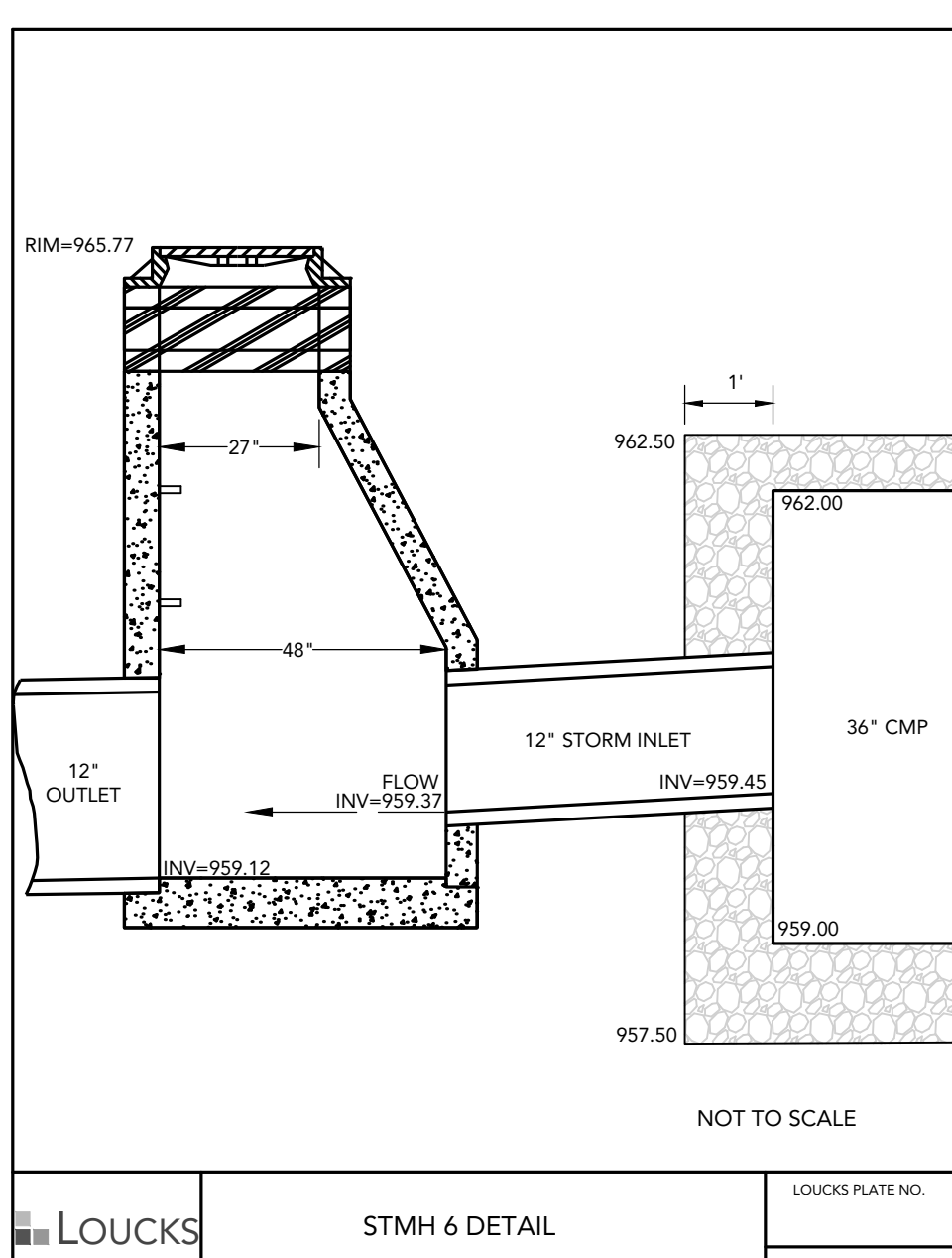
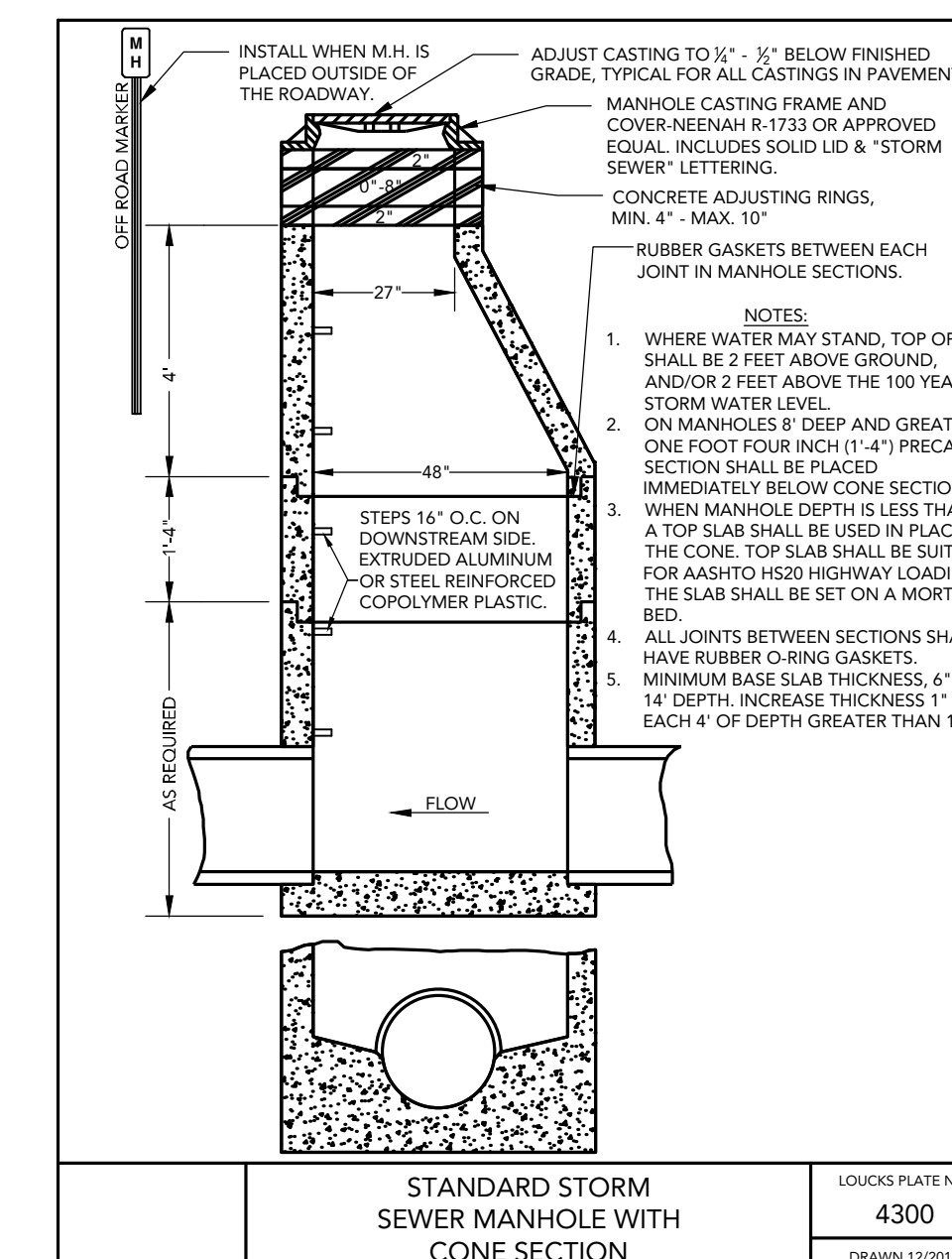
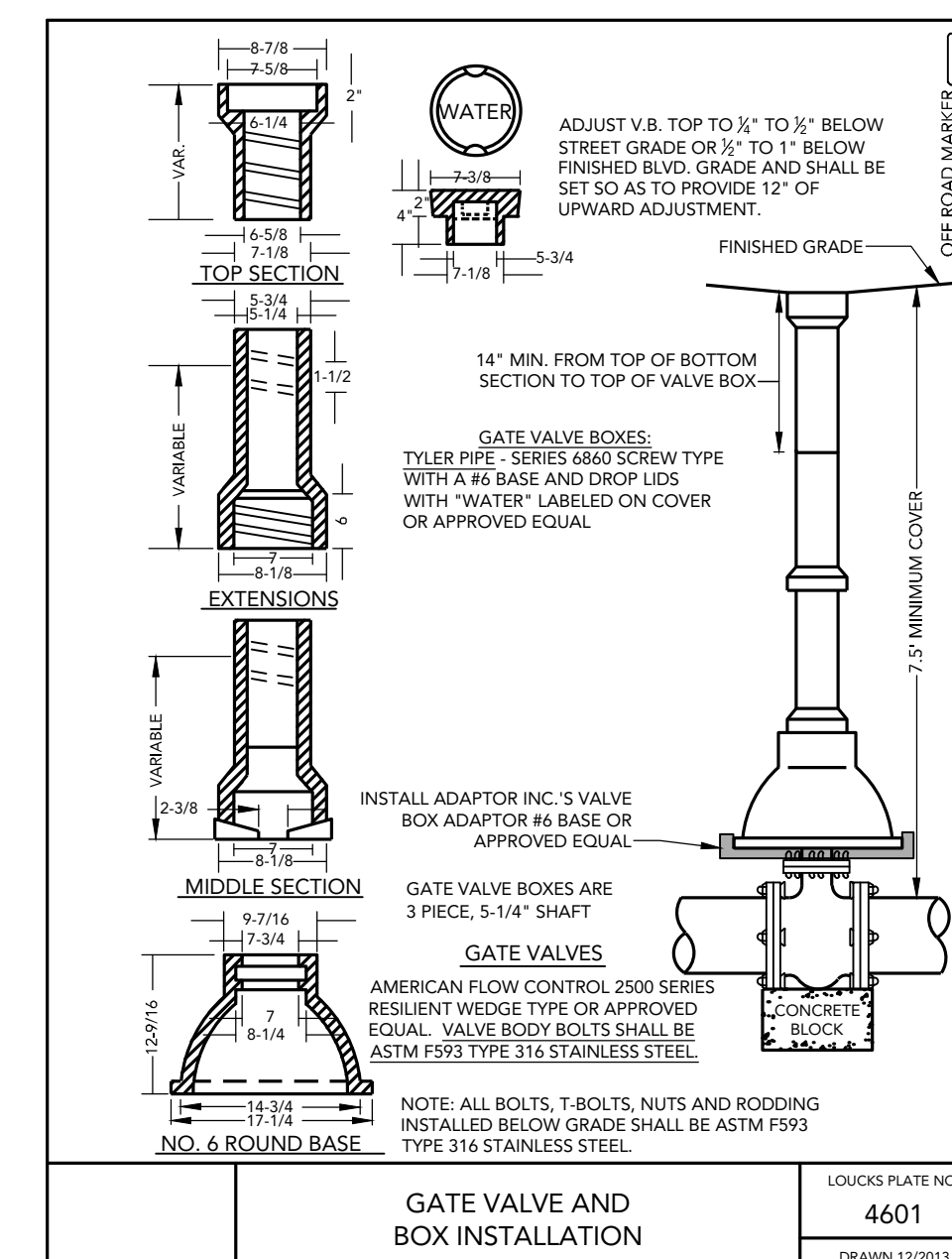
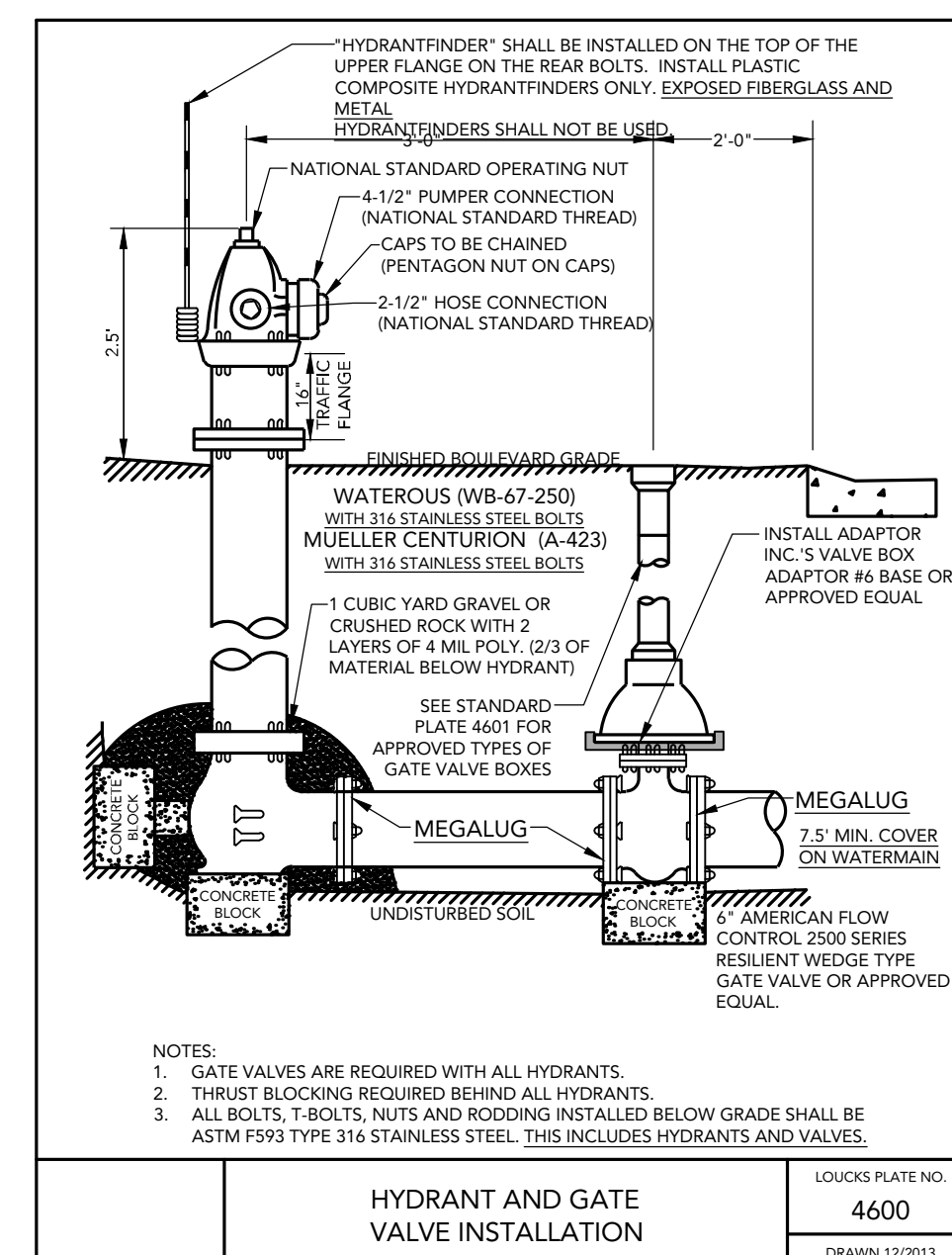
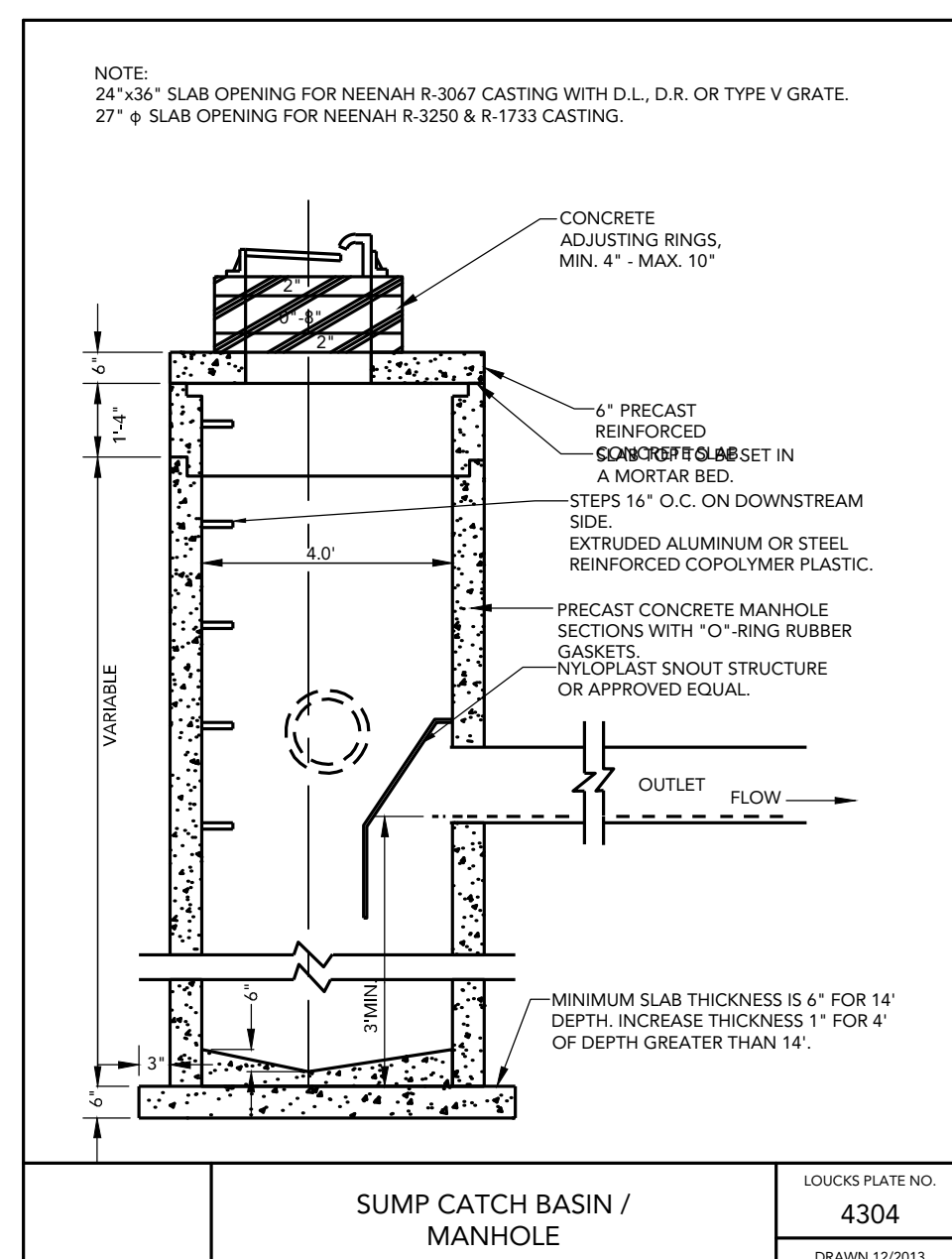
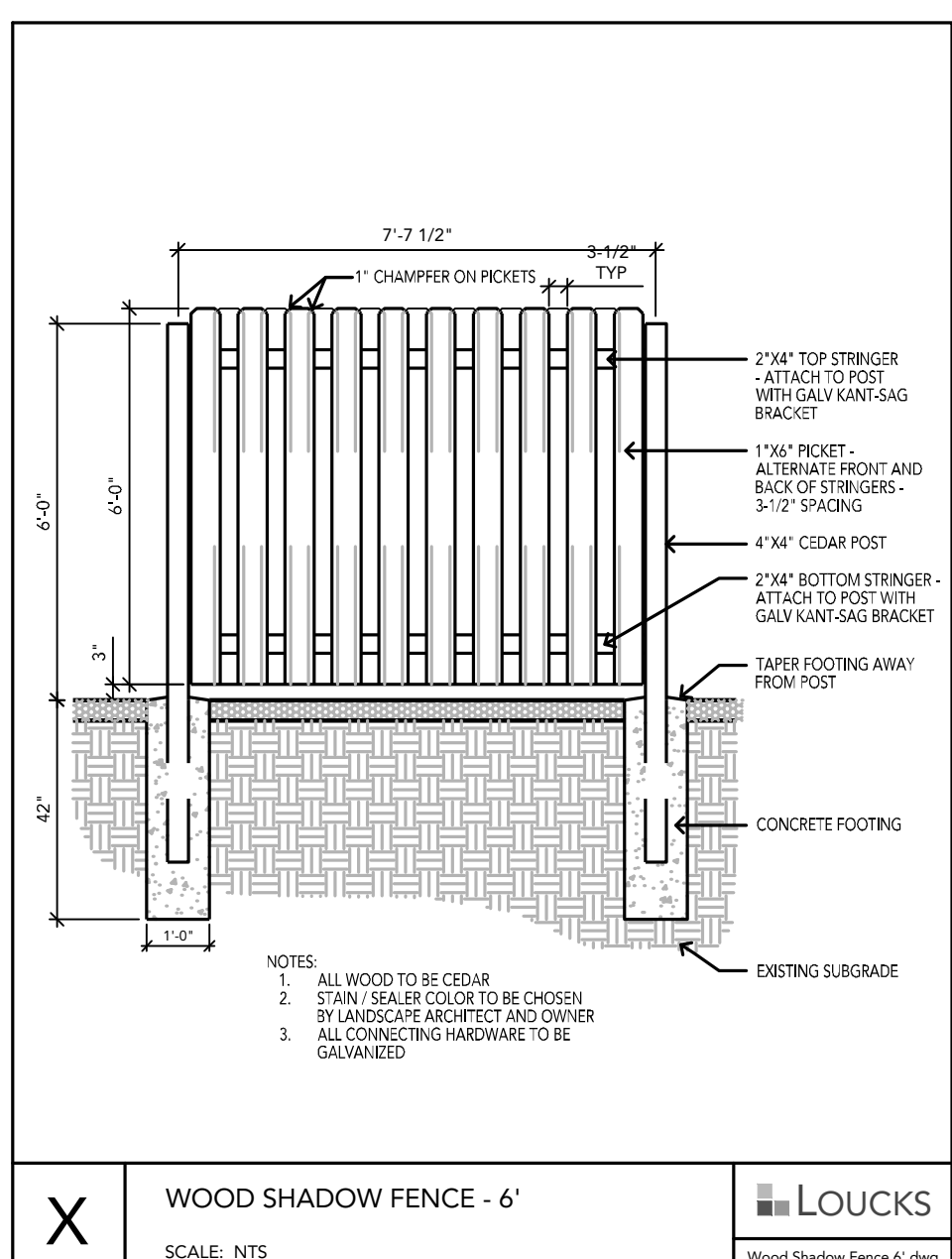
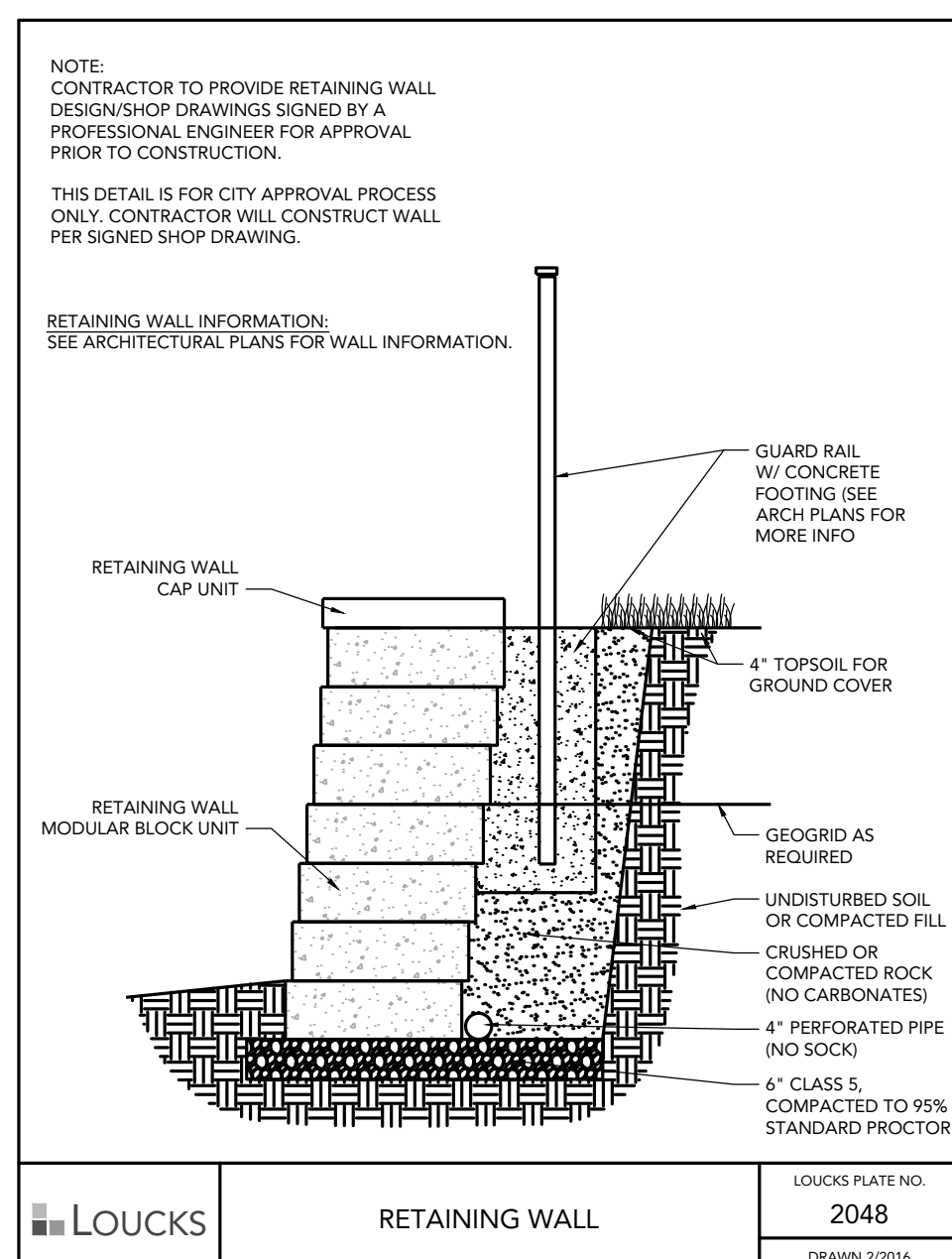
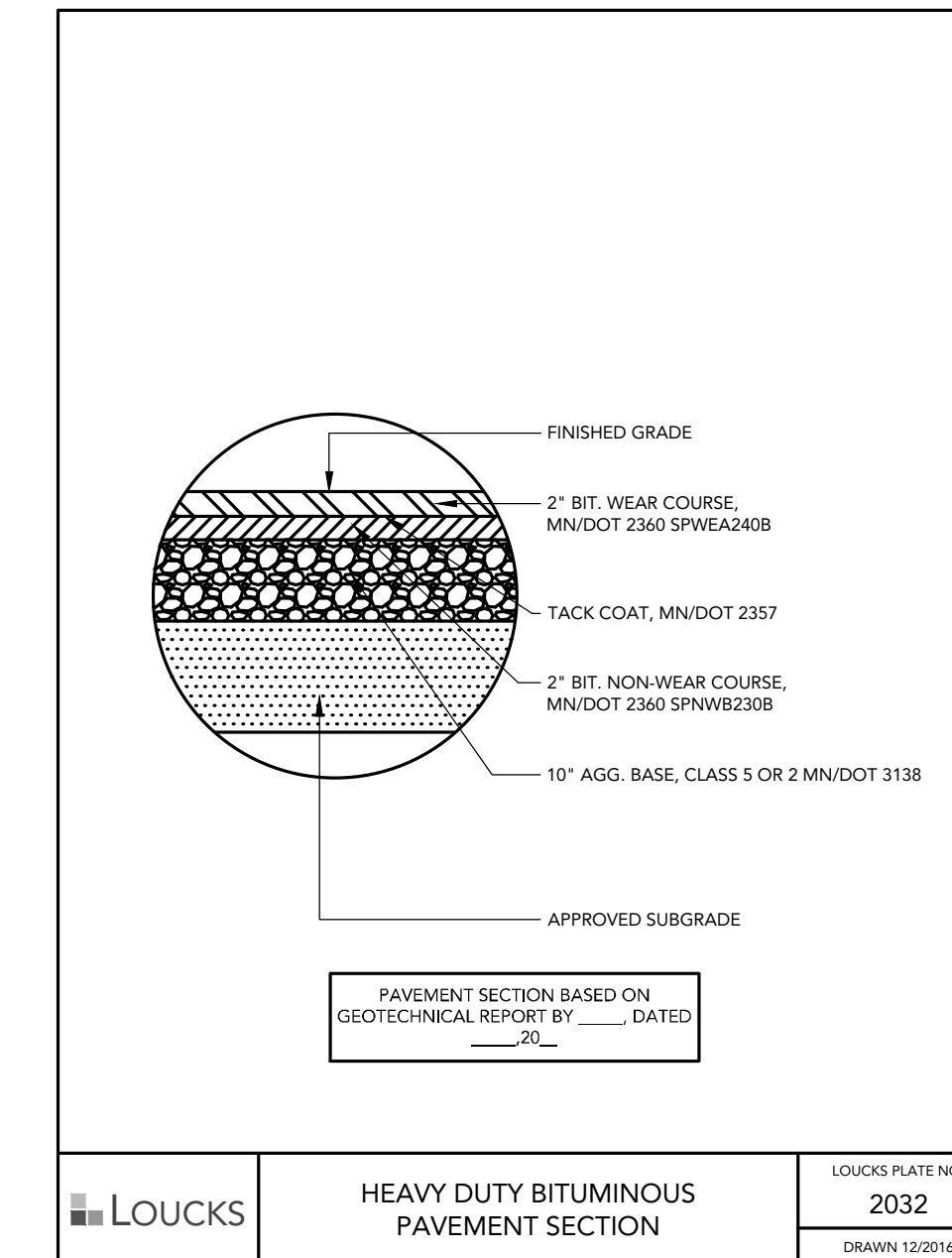
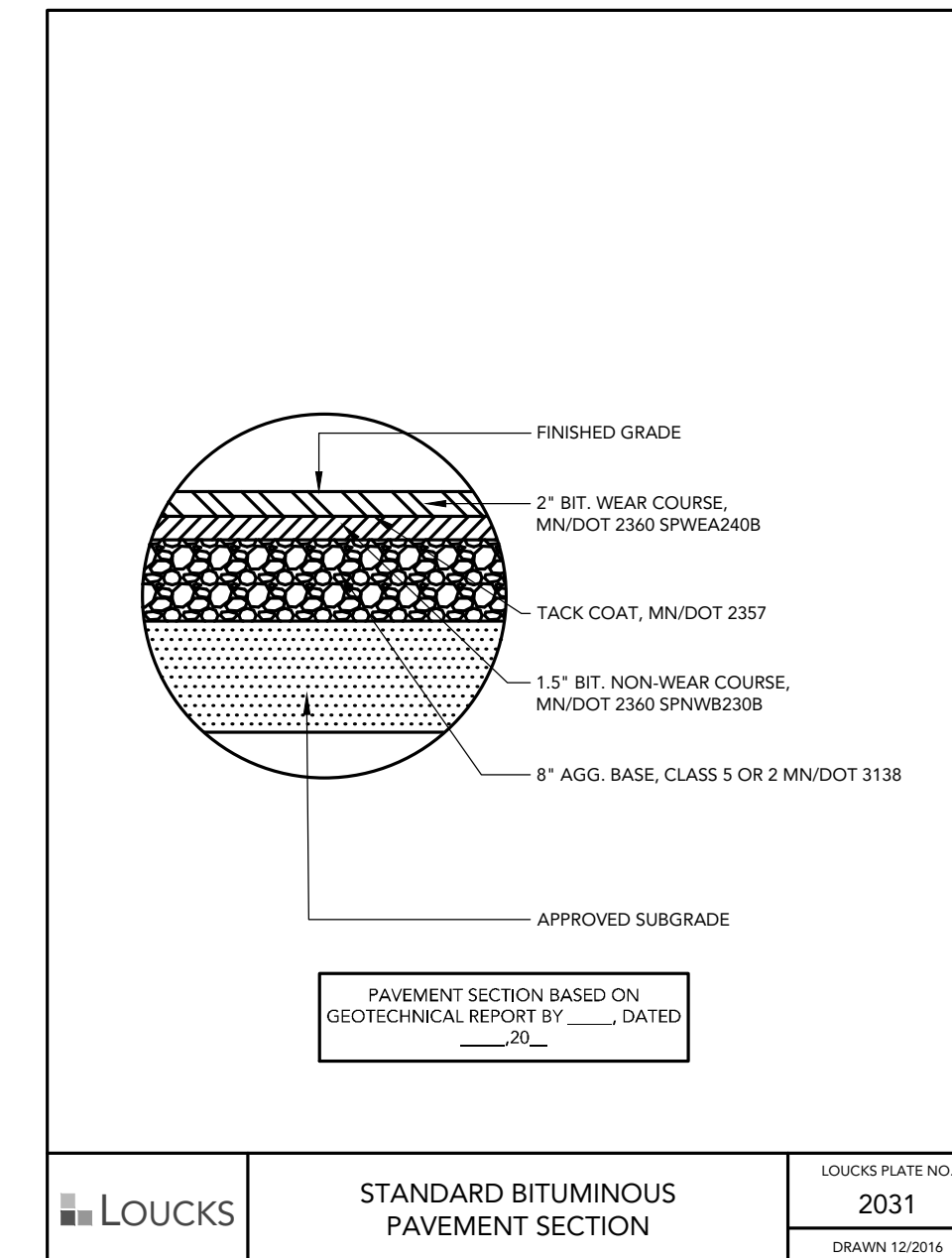
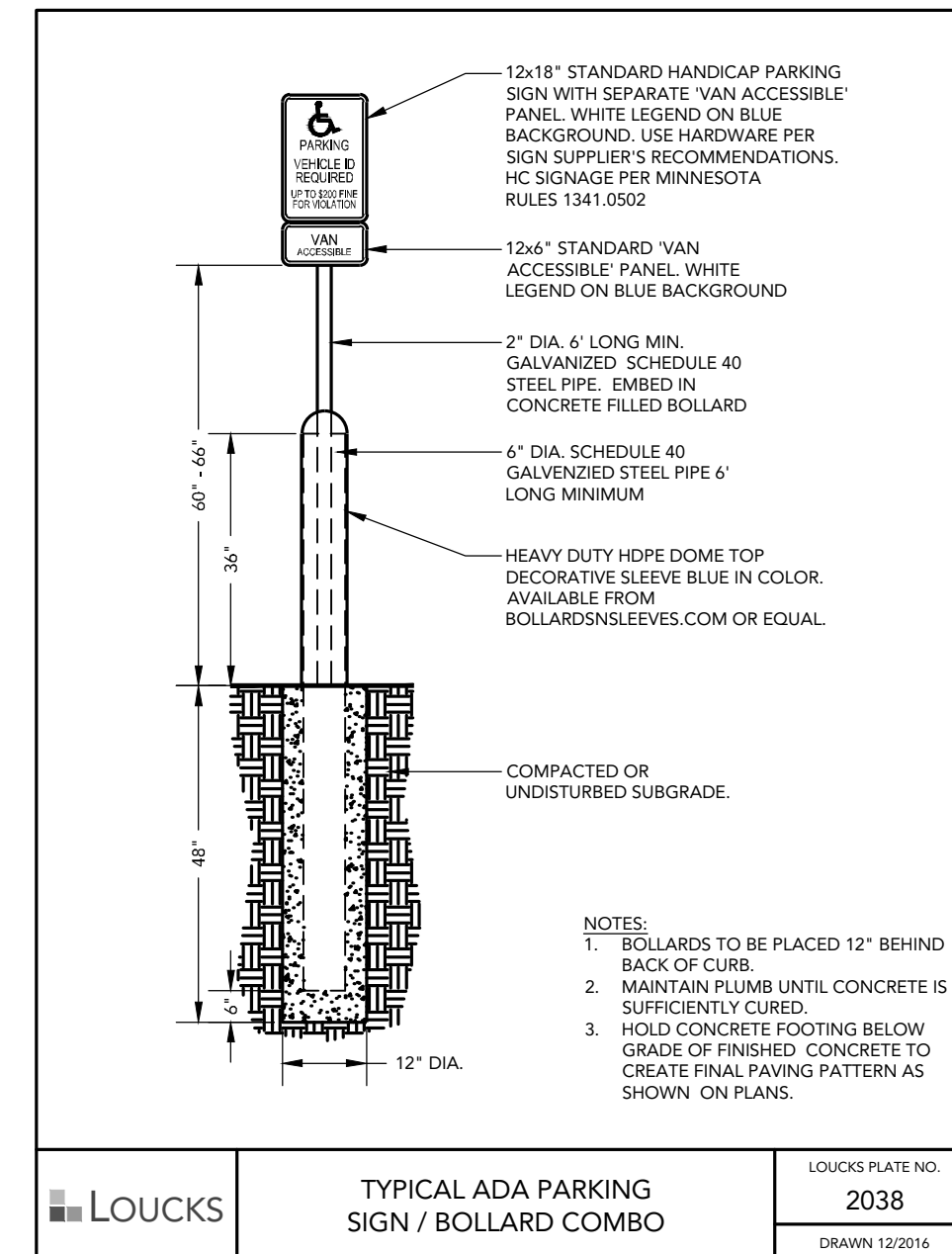
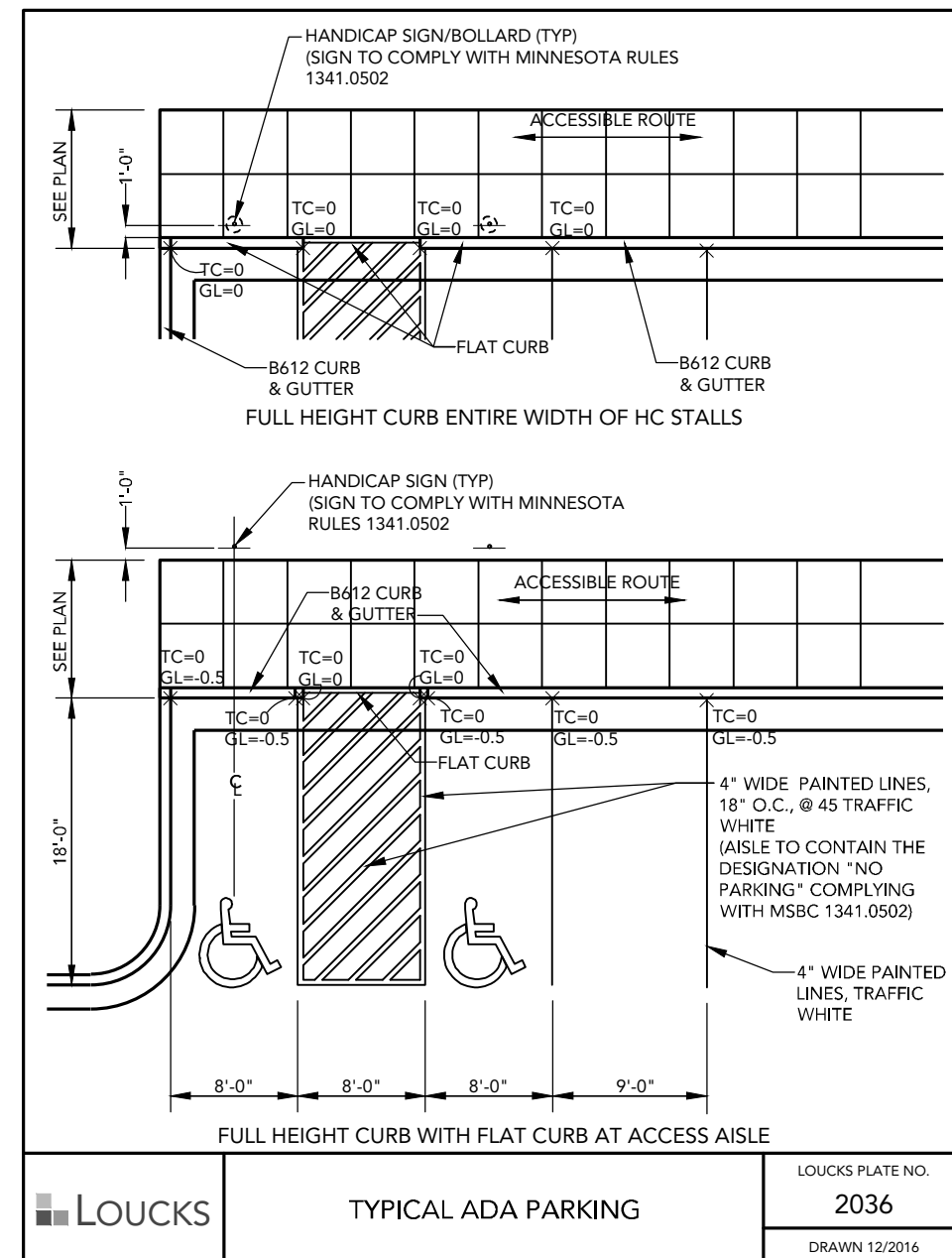
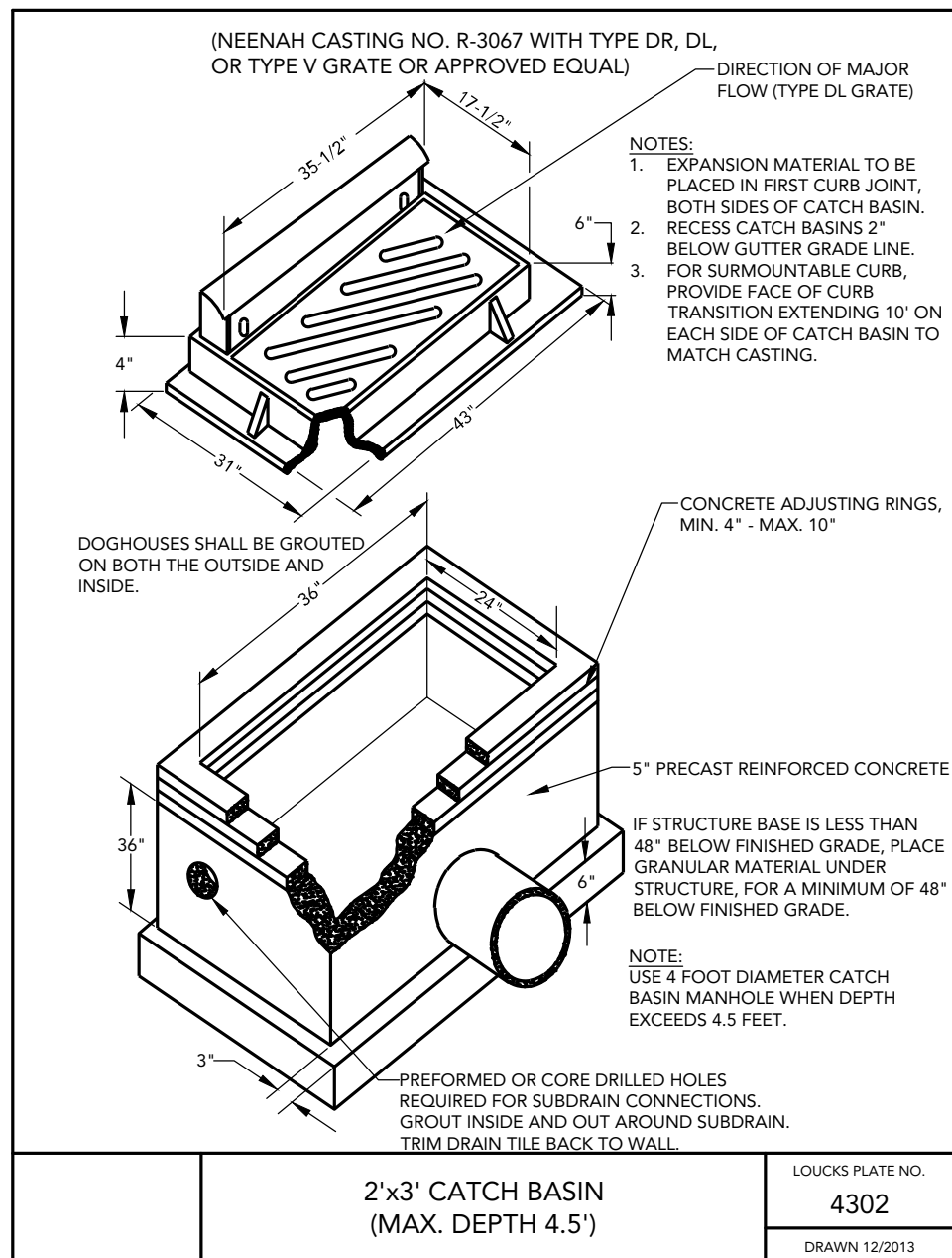
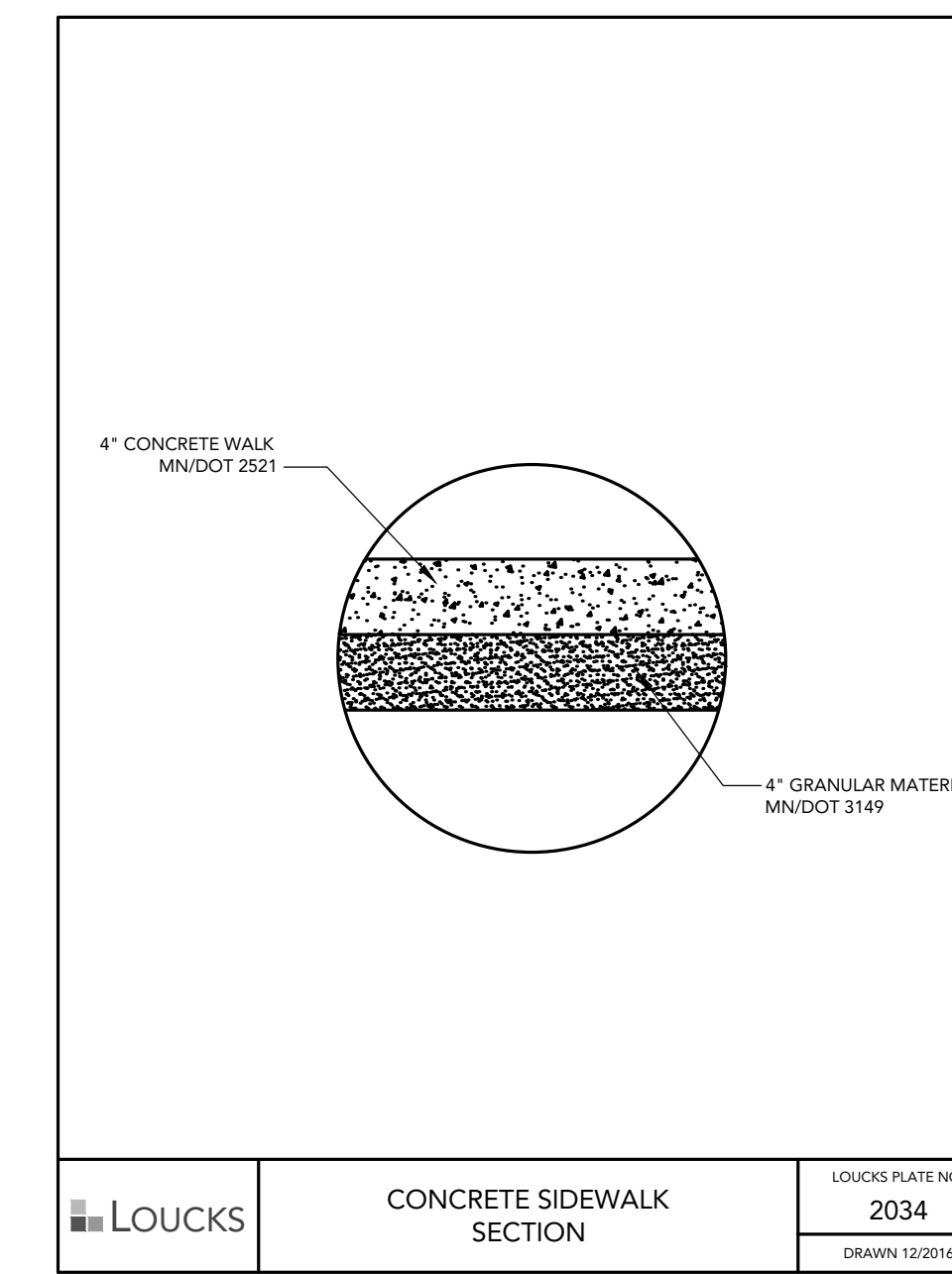
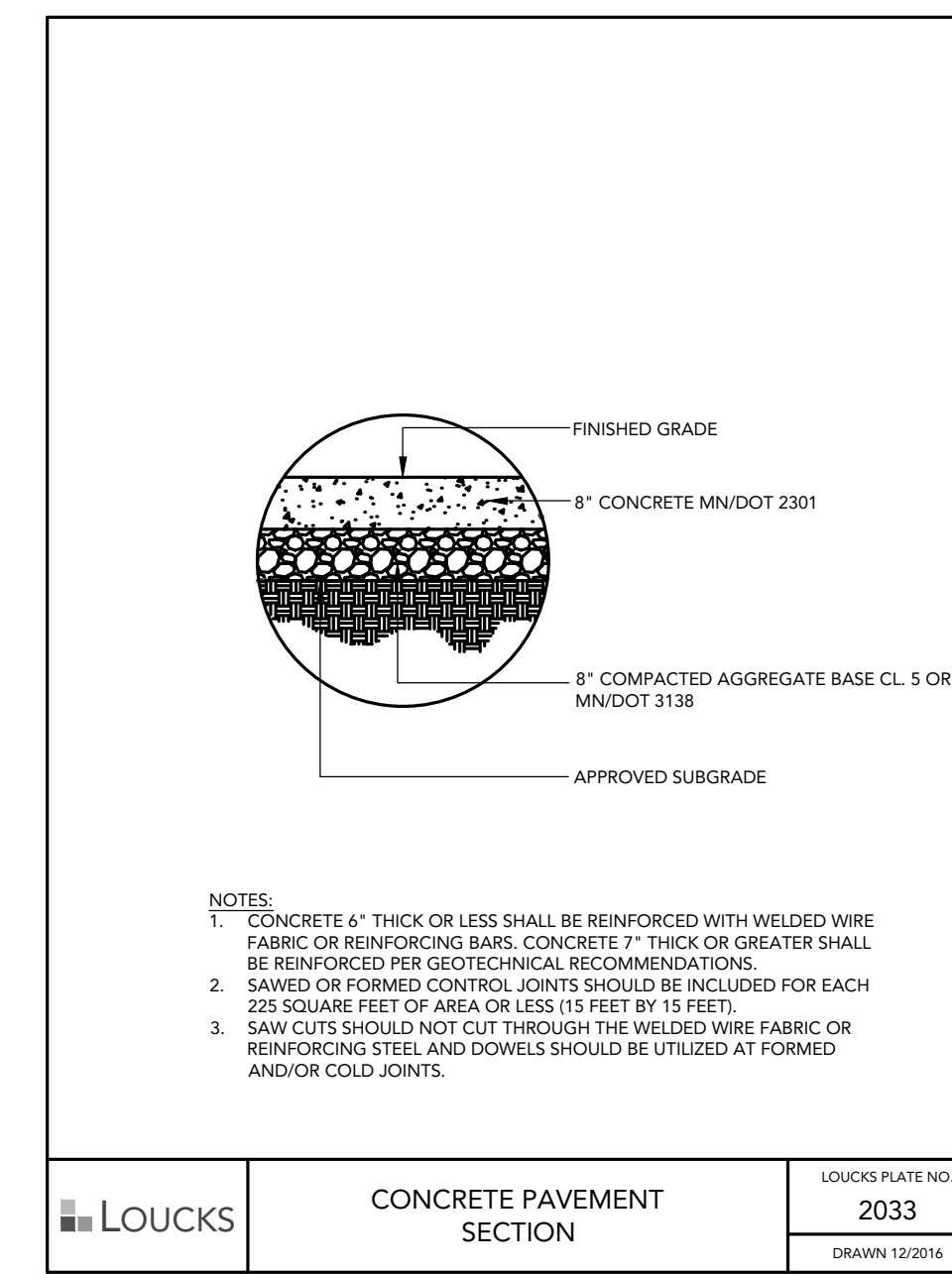
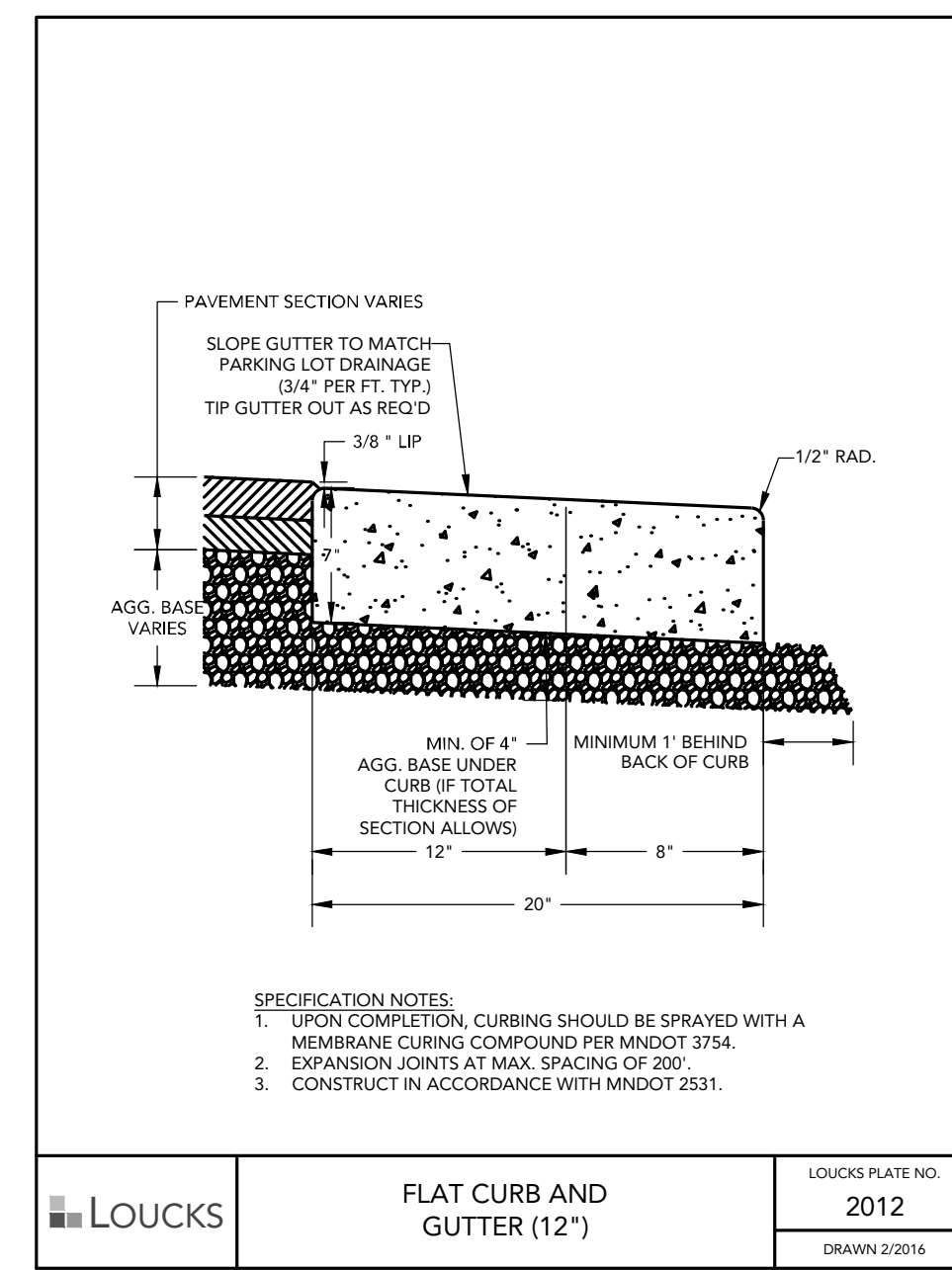
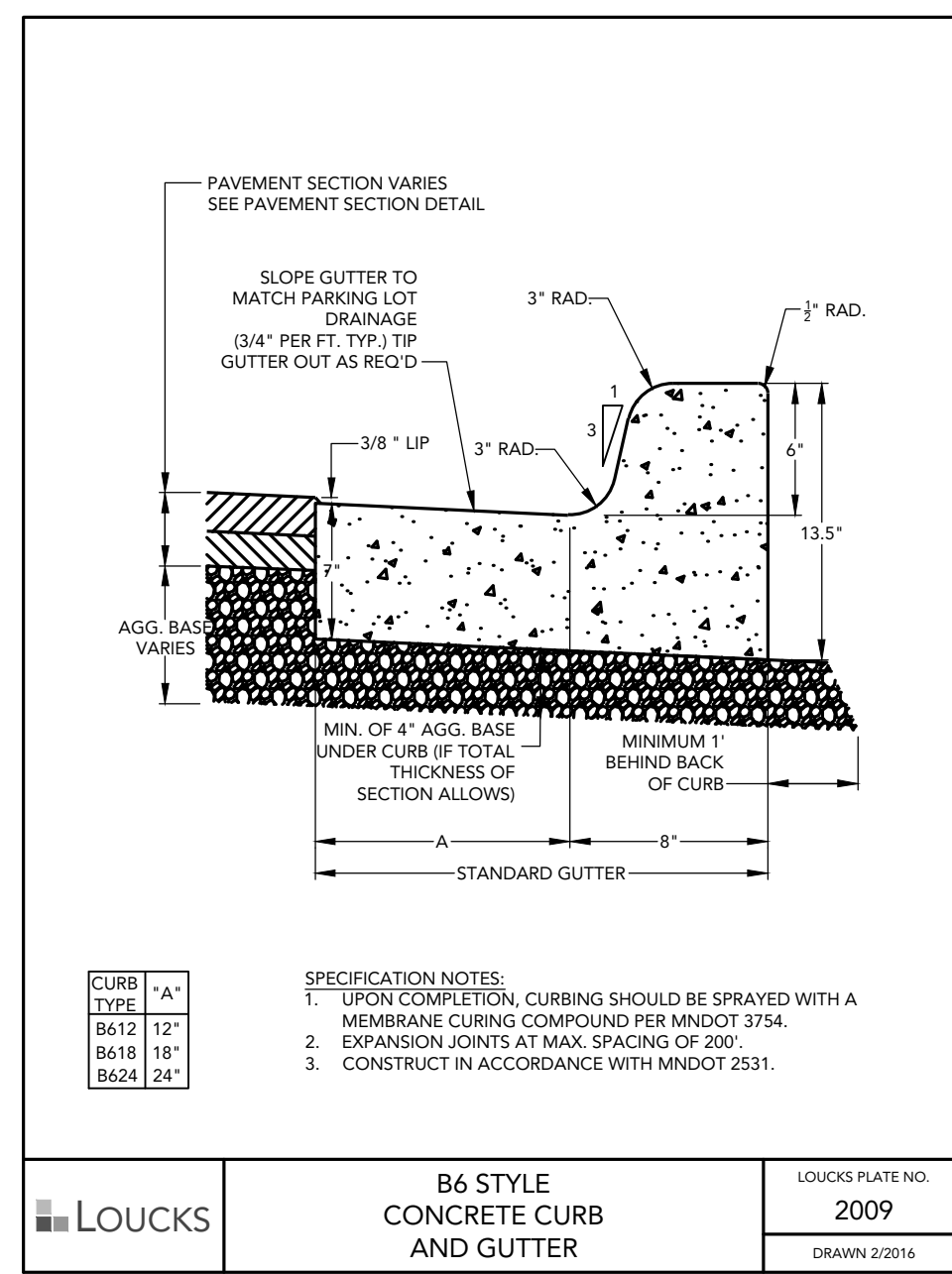
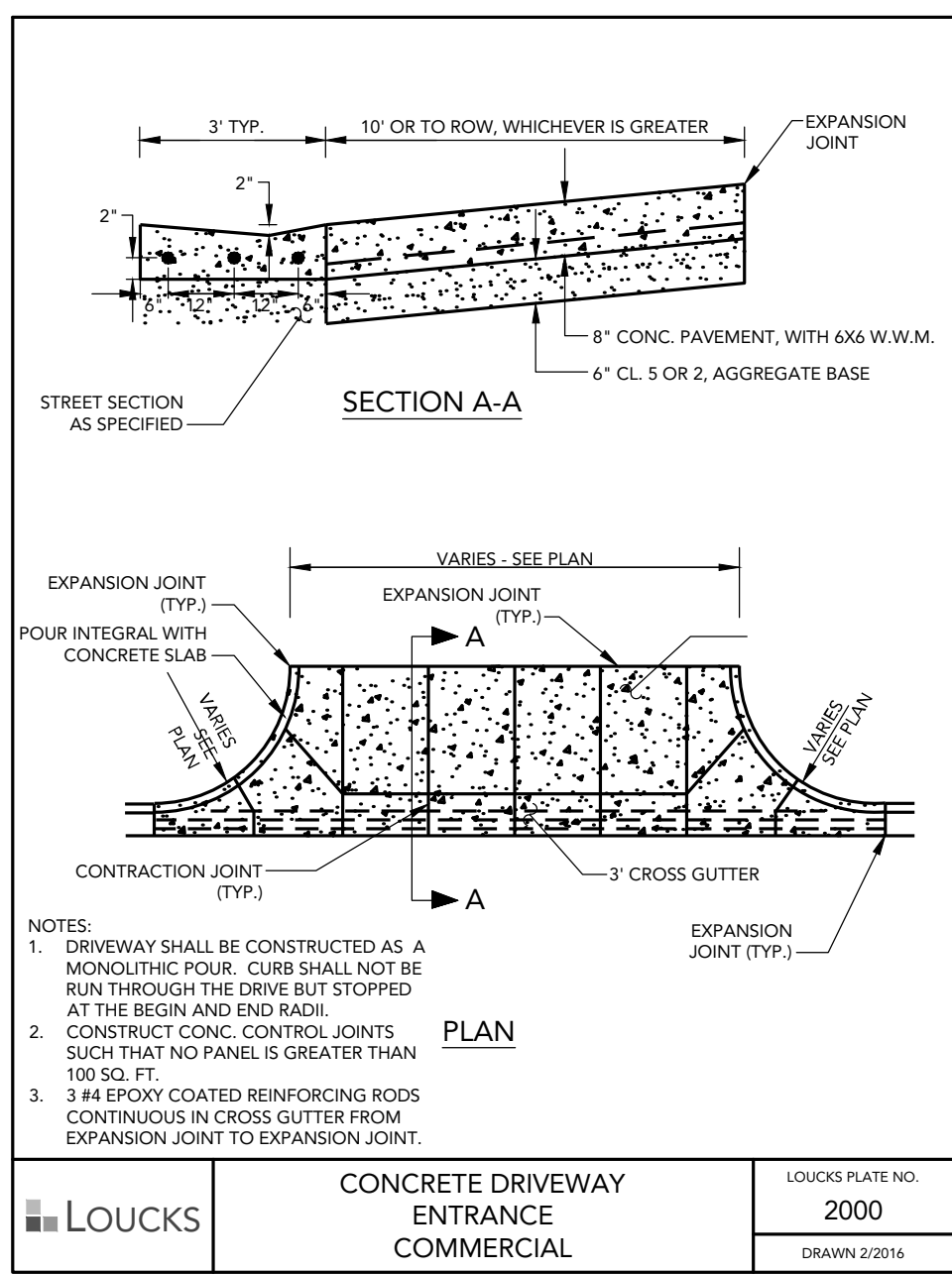
SHEET INDEX

| | |
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| C3-1 | GRADING PLAN |
| C3-2 | SWPPP |
| C3-3 | SWPPP |
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| C8-1 | DETAILS |
| L1-1 | LANDSCAPE PLAN |



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PROFESSIONAL SIGNATURE

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

License No. P2/Dish - PE 49933
Date XX/XX/19

QUALITY CONTROL

Loecks Project No. 18644.00
Project Lead PJD
Drawn By DDL
Checked By PJD
Review Date 10/30/20

SHEET INDEX

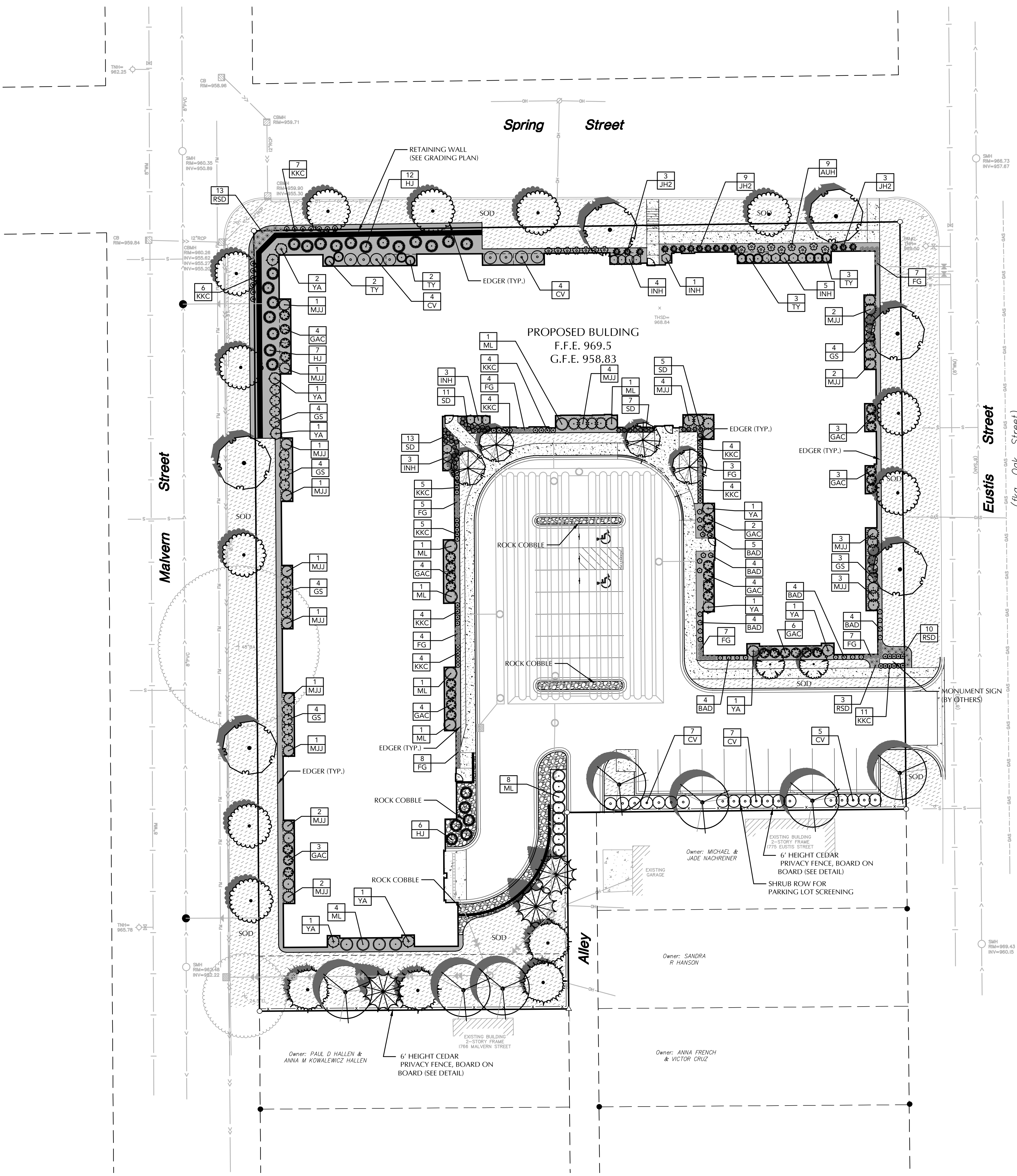
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NOTE: GRANULAR MATERIALS FURNISHED FOR USE IN FOUNDATION, BEDDING, ENCASUREMENT, OR BACKFILL CONSTRUCTION SHALL CONFORM TO THE FOLLOWING REQUIREMENTS:

- FOUNDATION MATERIALS SHALL HAVE 100% PASSING THE 1/2" SIEVE AND A MAXIMUM OF 10% PASSING THE NO. 4 SIEVE. NOT LESS THAN 50% OF THE MATERIAL RETAINED BY THE NO. 4 SIEVE SHALL HAVE ONE (1) OR MORE CRUSHED FACES. HARD, DURABLE CRUSHED CARBONATE QUARRY ROCK MAY BE USED FOR FOUNDATION MATERIALS.
- BEDDING AND ENCASUREMENT MATERIALS FOR FLEXIBLE PIPE SHALL MEET THE REQUIREMENTS OF MNDOT SPECIFICATION 316.02. GRANULAR BEDDING EXCEPT THAT 10% SHALL PASS THE ONE INCH (1") SIEVE.
- BACKFILL AND ENCASUREMENT MATERIALS FOR RIGID PIPE SHALL BE DEFINED AS A MINERAL SOIL FREE OF FOREIGN MATERIALS BURSH, ROCKS & DEBRIS. FRESHLY CRUSHED CARBONATE QUARRY ROCK, CONCRETE OR BITUMINOUS CHUNKS, AND OTHER UNSUITABLE MATERIALS THAT MAY DAMAGE PIPE, PREVENT THROUGH COMPACTION, OR INCREASE THE RISKS OF SETTLEMENT.

DETAIL SHEET

C8-1



| PLANT SCHEDULE | | | | | |
|-------------------|-----|------------------------------|--|----------|----------|
| DECIDUOUS TREES | QTY | COMMON NAME | BOTANICAL NAME | CONT | SIZE |
| | 11 | BOULEVARD LINDEN | Tilia americana 'Boulevard' | B & B | 2.5" Cal |
| | 7 | SIENNA GLEN MAPLE | Acer freemanii 'Sienna Glen' | B & B | 2.5" Cal |
| | 6 | SKYLINE HONEYLOCUST | Gleditsia triacanthos 'Skycole' | B & B | 2.5" Cal |
| EVERGREEN TREES | QTY | COMMON NAME | BOTANICAL NAME | CONT | SIZE |
| | 4 | AUSTRIAN PINE FULL FORM | Pinus nigra | B & B | 6' HGT |
| | 3 | BLACK HILLS SPRUCE FULL FORM | Picea glauca 'Densata' | B & B | 6' HGT |
| ORNAMENTAL TREES | QTY | COMMON NAME | BOTANICAL NAME | CONT | SIZE |
| | 2 | RED JEWEL CRABAPPLE | Malus x 'Jewelcole' TM | B & B | 1.5" Cal |
| | 4 | SPRING SNOW CRABAPPLE | Malus x 'Spring Snow' | B & B | 1.5" Cal |
| SHRUBS | QTY | COMMON NAME | BOTANICAL NAME | MIN CONT | MIN SIZE |
| | 27 | COMPACT AMERICAN VIBURNUM | Viburnum trilobum 'Bailey Compact' | 5 gal | 24" HGT |
| | 23 | GOLDFLAME SPIREA | Spirea x bumalda 'Goldflame' | 5 gal | 24" HGT |
| | 33 | GREEN MOUND ALPINE CURRANT | Ribes alpinum 'Green Mound' | 5 gal | 24" HGT |
| | 16 | INCREDIBALL HYDRANGEA | Hydrangea arborescens 'Incrediball' | 5 gal | 24" HGT |
| | 18 | MISS KIM LILAC | Syringa patula 'Miss Kim' | 5 gal | 24" HGT |
| GRASSES | QTY | COMMON NAME | BOTANICAL NAME | MIN CONT | MIN SIZE |
| | 45 | FEATHER REED GRASS | Calamagrostis x acutiflora 'Karl Foerster' | 1 gal | |
| CONIFEROUS SHRUBS | QTY | COMMON NAME | BOTANICAL NAME | MIN CONT | MIN SIZE |
| | 25 | HUGHES JUNIPER | Juniperus horizontalis 'Hughes' | 5 gal | 18" SPRD |
| | 30 | MINT JULEP JUNIPER | Juniperus chinensis 'Monlep' | 5 gal | 18" SPRD |
| | 10 | TAUNTON YEW | Taxus x media 'Taunton' | 5 gal | 18" SPRD |
| | 10 | YELLOW RIBBON ARBORVITAE | Thuja occidentalis 'Yellow Ribbon' | 10 gal | 36" HGT |
| PERENNIALS | QTY | COMMON NAME | BOTANICAL NAME | MIN CONT | MIN SIZE |
| | 16 | AUREOMARGINATA HOSTA | Hosta montana 'Aureomarginata' | 1 gal | |
| | 25 | BAJA DAYLILY | Hemerocallis x 'Baja' | 1 gal | |
| | 15 | CAPTAIN KIRK HOSTA | Hosta 'Captain Kirk' | 1 gal | |
| | 58 | KIT KAT CATMINT | Nepeta x faassenii 'Kit Cat' | 1 gal | |
| | 26 | RUBY STELLA DAYLILY | Hemerocallis x 'RUBY Stella' | 1 gal | |
| | 36 | STELLA D' ORO DAYLILY | Hemerocallis x 'Stella de Oro' | 1 gal | |

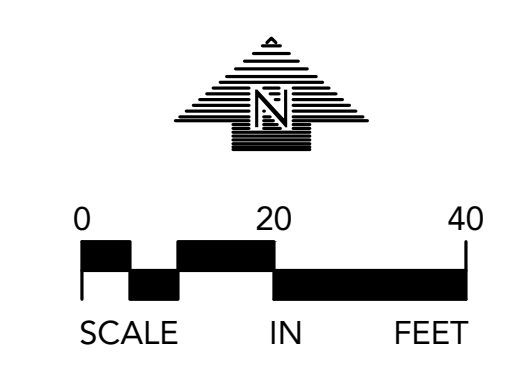
SOD
 FOUNDATION PLANTINGS
 ROCK COBBLE OVER LANDSCAPE FABRIC
 COLOR: TBD

GENERAL NOTES

- CONTRACTOR SHALL VISIT SITE PRIOR TO SUBMITTING BID. HE SHALL INSPECT SITE AND BECOME FAMILIAR WITH EXISTING CONDITIONS RELATING TO THE NATURE AND SCOPE OF WORK.
- VERIFY LAYOUT AND ANY DIMENSIONS SHOWN AND BRING TO THE ATTENTION OF THE LANDSCAPE ARCHITECT ANY DISCREPANCIES WHICH MAY COMPROMISE THE DESIGN AND/OR INTENT OF THE PROJECT'S LAYOUT.
- ASSURE COMPLIANCE WITH ALL APPLICABLE CODES AND REGULATIONS GOVERNING THE WORK OR MATERIALS SUPPLIED.
- CONTRACTOR SHALL PROTECT ALL EXISTING ROADS, CURBS/GUTTERS, TRAILS, TREES, LAWNS AND SITE ELEMENTS DURING PLANTING OPERATIONS. ANY DAMAGE TO SAME SHALL BE REPAIRED AT NO COST TO THE OWNER.
- CONTRACTOR SHALL VERIFY ALIGNMENT AND LOCATION OF ALL UNDERGROUND AND ABOVE GRADE UTILITIES AND PROVIDE THE NECESSARY PROTECTION FOR SAME BEFORE CONSTRUCTION / MATERIAL INSTALLATION BEGINS (MINIMUM 10' - 0" CLEARANCE).
- ALL UNDERGROUND UTILITIES SHALL BE LAID SO THAT TRENCHES DO NOT CUT THROUGH ROOT SYSTEMS OF ANY EXISTING TREES TO REMAIN.
- EXISTING CONTOURS, TRAILS, VEGETATION, CURB/GUTTER AND OTHER EXISTING ELEMENTS BASED UPON INFORMATION SUPPLIED TO LANDSCAPE ARCHITECT BY OTHERS. CONTRACTOR SHALL VERIFY ANY AND ALL DISCREPANCIES PRIOR TO CONSTRUCTION AND NOTIFY LANDSCAPE ARCHITECT OF SAME.
- THE ALIGNMENT AND GRADES OF THE PROPOSED WALKS, TRAILS AND/OR ROADWAYS ARE SUBJECT TO FIELD ADJUSTMENT REQUIRED TO CONFORM TO LOCALIZED TOPOGRAPHIC CONDITIONS AND TO MINIMIZE TREE REMOVAL AND GRADING. ANY CHANGE IN ALIGNMENT MUST BE APPROVED BY LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL GUARANTEE NEW PLANT MATERIAL THROUGH 2 CALENDAR YEARS FROM THE DATE OF OWNER ACCEPTANCE. WARRANTY (2 FULL GROWING SEASONS) FOR LANDSCAPE MATERIALS SHALL BEGIN ON THE DATE OF ACCEPTANCE BY THE LANDSCAPE ARCHITECT AFTER THE COMPLETION OF PLANTING OF ALL LANDSCAPE MATERIALS. NO PARTIAL ACCEPTANCE WILL BE CONSIDERED.

IRRIGATION NOTES:

- VERIFY EXISTING/PROPOSED IRRIGATION SYSTEM LAYOUT AND CONFIRM COMPLETE LIMITS OF IRRIGATION PRIOR TO SUPPLYING SHOP DRAWINGS.
- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AN IRRIGATION LAYOUT PLAN AND SPECIFICATION AS A PART OF THE SCOPE OF WORK WHEN BIDDING. THESE SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO ORDER AND/OR INSTALLATION. IT SHALL BE THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT ALL SODDED/SEEDED AND PLANTED AREAS ARE IRRIGATED PROPERLY, INCLUDING THOSE AREAS DIRECTLY AROUND AND ABUTTING BUILDING FOUNDATION.
- THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE OWNER WITH AN IRRIGATION SCHEDULE APPROPRIATE TO THE PROJECT SITE CONDITIONS AND TO PLANT MATERIAL GROWTH REQUIREMENTS.
- IRRIGATION SYSTEM IS NOT TO SPRINKLE ACROSS PAVEMENT. THE SYSTEM SHALL INCORPORATE A RAIN SENSOR INTO IRRIGATION SYSTEM.
- PLANTINGS OUTSIDE THE LIMITS OF IRRIGATION ARE TO BE WATERED REGULARLY UNTIL PLANTING/SOD/SEED HAS BEEN ESTABLISHED.



CALL BEFORE YOU DIG!
Gopher State One Call
 TWIN CITY AREA: 651-454-0002
 TOLL FREE: 1-800-252-1166

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LAUDERDALE SENIOR HOUSING
 1795 EUSTIS ST, LAUDERDALE, MN
 REAL ESTATE EQUITIES
 579 SELBY AVE, ST. PAUL, MN 55102

LOUCKS
 PLANNING
 CIVIL ENGINEERING
 LAND SURVEYING
 ARCHITECTURE
 LANDSCAPE ARCHITECTURE
 ENVIRONMENTAL
 7200 Hemlock Lane, Suite 300
 Maple Grove, MN 55369
 763.424.5505
 www.loucksinc.com

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PROFESSIONAL SIGNATURE

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Landscape Architect under the laws of the State of Minnesota.

| | | |
|-------------|-----------------------|-------|
| License No. | Douglas D. Loken - LA | 45591 |
| Date | | |

QUALITY CONTROL

| | |
|--------------------|----------|
| Loecks Project No. | 18644 |
| Project Lead | PJD |
| Drawn By | DDL |
| Checked By | DDL |
| Review Date | 10/30/20 |

SHEET INDEX

| | |
|------|---------------------|
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| C3-2 | SWPPP |
| C3-3 | SWPPP |
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LANDSCAPE PLAN
L1-1



REAL ESTATE EQUITIES

October 30th, 2020

Ms. Jennifer Haskamp
SHC LLC

Final PUD: City of Lauderdale, Eustis Street Redevelopment

Dear Ms. Haskamp,

Site Security, et Al (Note – additional questions regarding construction are added to this section)

- Is it possible to allow residents to use the existing “alleyway” east-west temporarily until the new drive is available to Eustis Street. This requires the fence to be moved to the north size of the alley until the new drive is available. These two plans should be coordinated. Please update the drawing for the submittal.
 - **Schoepner Inc Response- The construction fence will be located such that the “alleyway” can be utilized by the public.**
- How tall is the security fencing?
 - **Schoepner Inc Response- 6’-0” tall chain link security fence**
- Will there be “screening” on the fencing – oftentimes the fencing includes visual screening, so that the construction activities are not visible, is this the case? We are concerned about safety, so your suggestions/feedback are requested.
 - **Schoepner Inc Response- If screening is a requirement it will be provided.**
- Please provide some details regarding Security Night Lighting – will it be visible from neighbors, around the perimeter, down cast, etc.
 - **Schoepner Inc Response- Temp lighting is provided inside the building 24 hours a day and a small night light is left on at the job trailer. Lighting will not be case off the site.**
- Parking – where will construction workers park? It is assumed that Spring & Malvern at 1795 will be enough, is that a fair assumption? What about parking of any equipment/etc.?
 - **Schoepner Inc Response- Delivery vehicles, storage containers and equipment will be parked within the site boundaries (within the security fence). Automobile parking for workers will be street parking along Spring and Malvern Streets.**
- Circulation and Haul Routes – can you provide an overview?
 - **Schoepner Inc Response- Final Haul Routes will be coordinated with the City’s Traffic Engineer but assumed that most delivery traffic would come from Hwy 280 to Larpenteur Ave to Eustis Street.**
- Do you have a plan for dust control? Street washing to minimize dust/dirt on roadways especially during early construction?
 - **Schoepner Inc Response- Crushed rock tracking pads will be installed at the site exit locations. Roads will be scraped/swept on a consistent basis when trucks/vehicles leave the site. Storm inlets will be protected with filter fabric/bail logs. These items are all requirements of our NPDES permit. Watering will be utilized during demolition when necessary.**



Attachment E

- Vibration – neighbors are concerned about the potential damage to foundations, etc., due to the construction. Do you have any guidance you could provide from previous projects where you may have addressed this type of concern? How do you address/mitigate/etc., this if damage does occur?
 - **Schoeppner Inc Response- Demolition of the existing building will be completed with track hoes and small hydraulic hammers and no pylon footings are currently known to be required. Therefore, there will be no activities that will create a vibration level which will cause issues with surrounding properties.**

Sincerely,

Patrick Ostrom
Managing Development Partner
Real Estate Equities

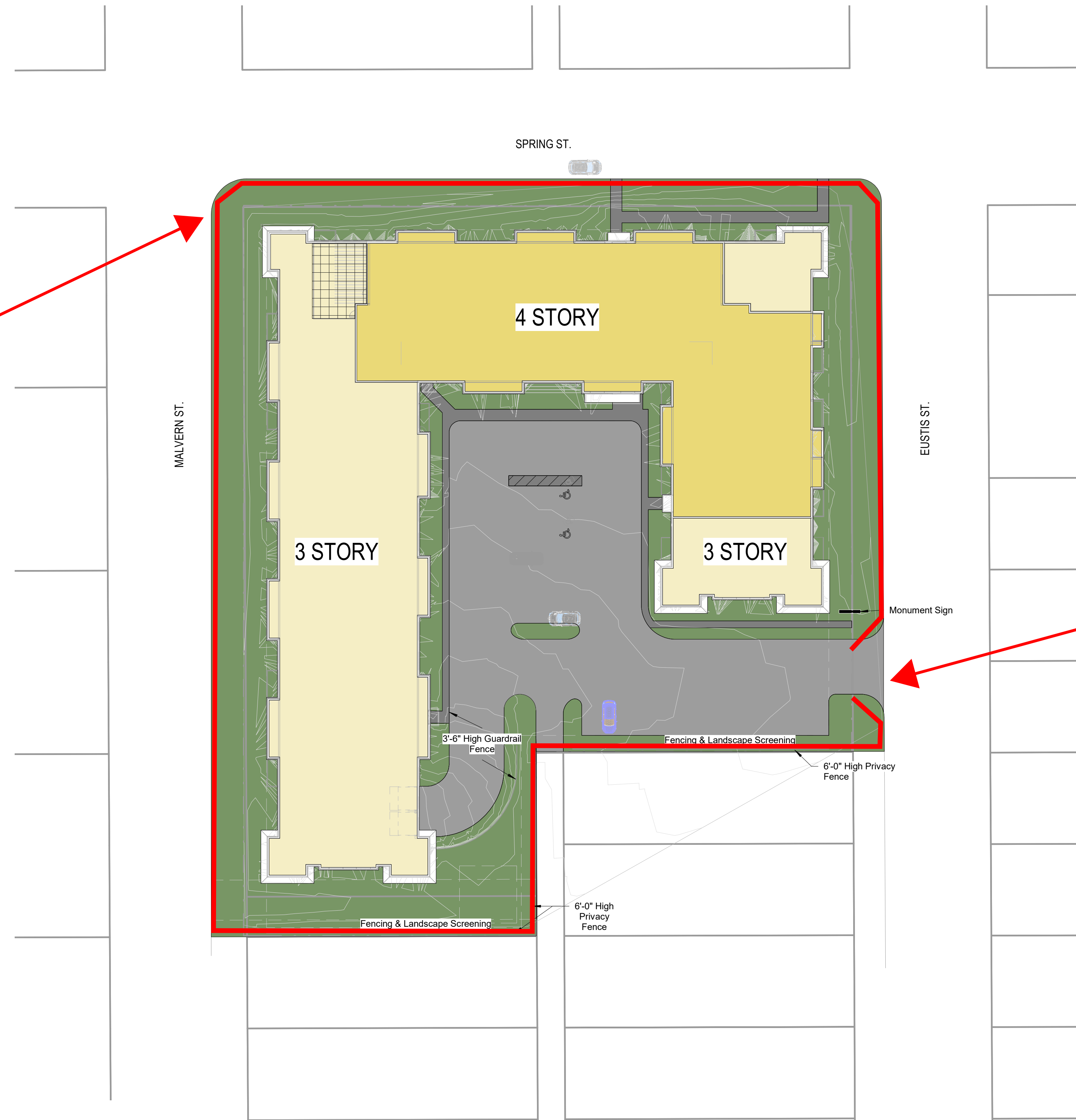
1795 Eustis Senior Housing

Lauderdale

Other Security Measures:

- Security Cameras Throughout Jobsite
- Construction Security Night Lighting

Chainlink Security Fencing



Lockable Construction Entrance



ATTACHMENT F

EASEMENT VACATION

October 29, 2020

A perpetual easement for public right-of-way, landscaping and other purposes over, under, across and through the South 22.5 feet of Lot 23, Block 10, Lauderdale's East Side Addition to Minneapolis.



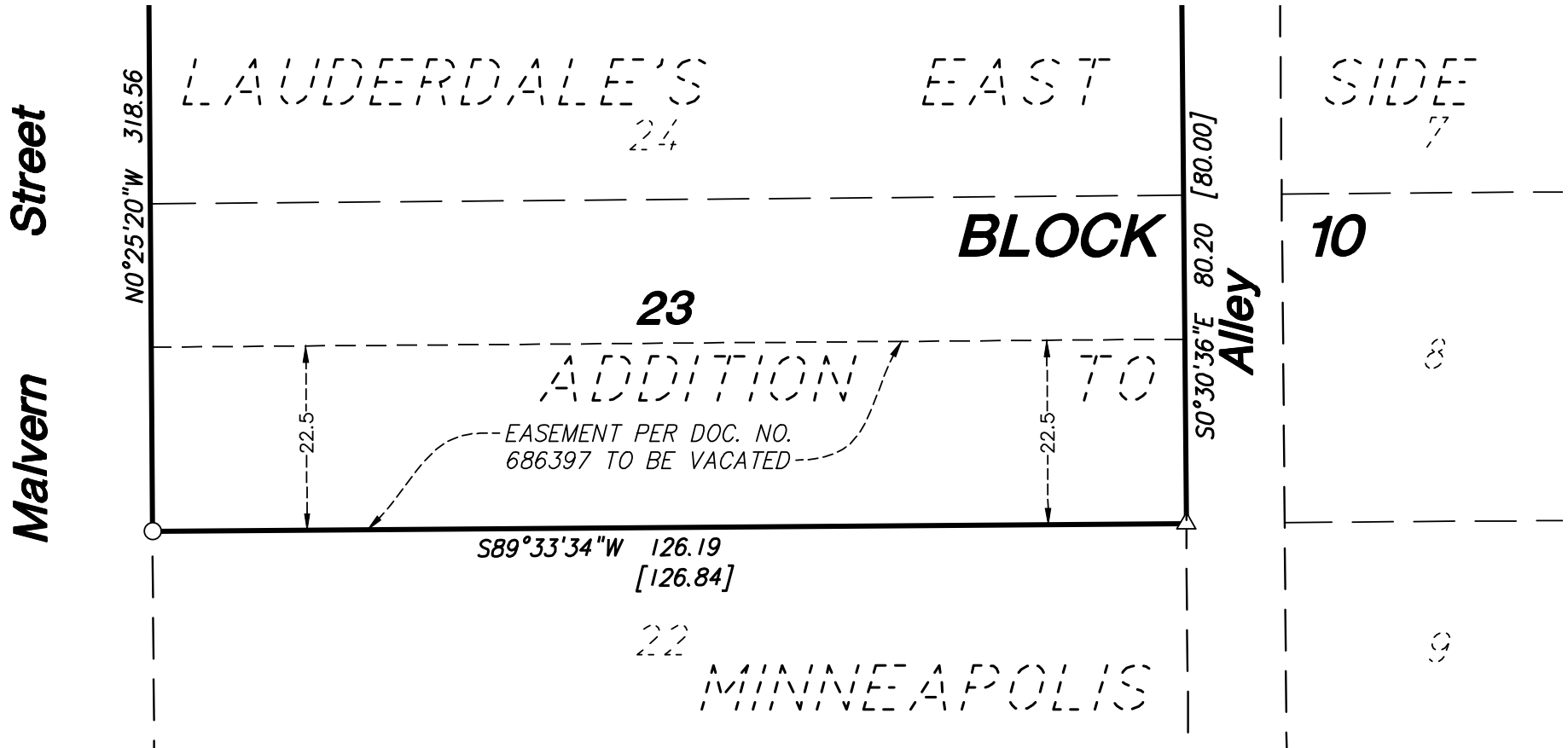
SCALE IN FEET

EXHIBIT

EASEMENT VACATION

October 29, 2020

A perpetual easement for public right-of-way, landscaping and other purposes over, under, across and through the South 22.5 feet of Lot 23, Block 10, Lauderdale's East Side Addition To Minneapolis.



I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Max L. Stanislawski

Max L. Stanislawski - PLS

License No. 48988

10/29/20

Date



Locks Project No. 18644

EXHIBIT

INGRESS & EGRESS EASEMENT

October 28, 2020

The south 9.00 feet of Lot 5, together with the west 3.00 feet and north 15.00 feet of Lot 6, all in Block 10, LAUDERDALE'S EAST SIDE ADDITION TO MINNEAPOLIS, Ramsey County, Minnesota.

Together with that part of the vacated Alley lying north of the westerly extension of the south line of said Lot 6 and south of the westerly extension of the north line of said south 9.00 feet of Lot 5.

Sheet 1 of 2 Sheets

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Max L. Stanislawski - PLS

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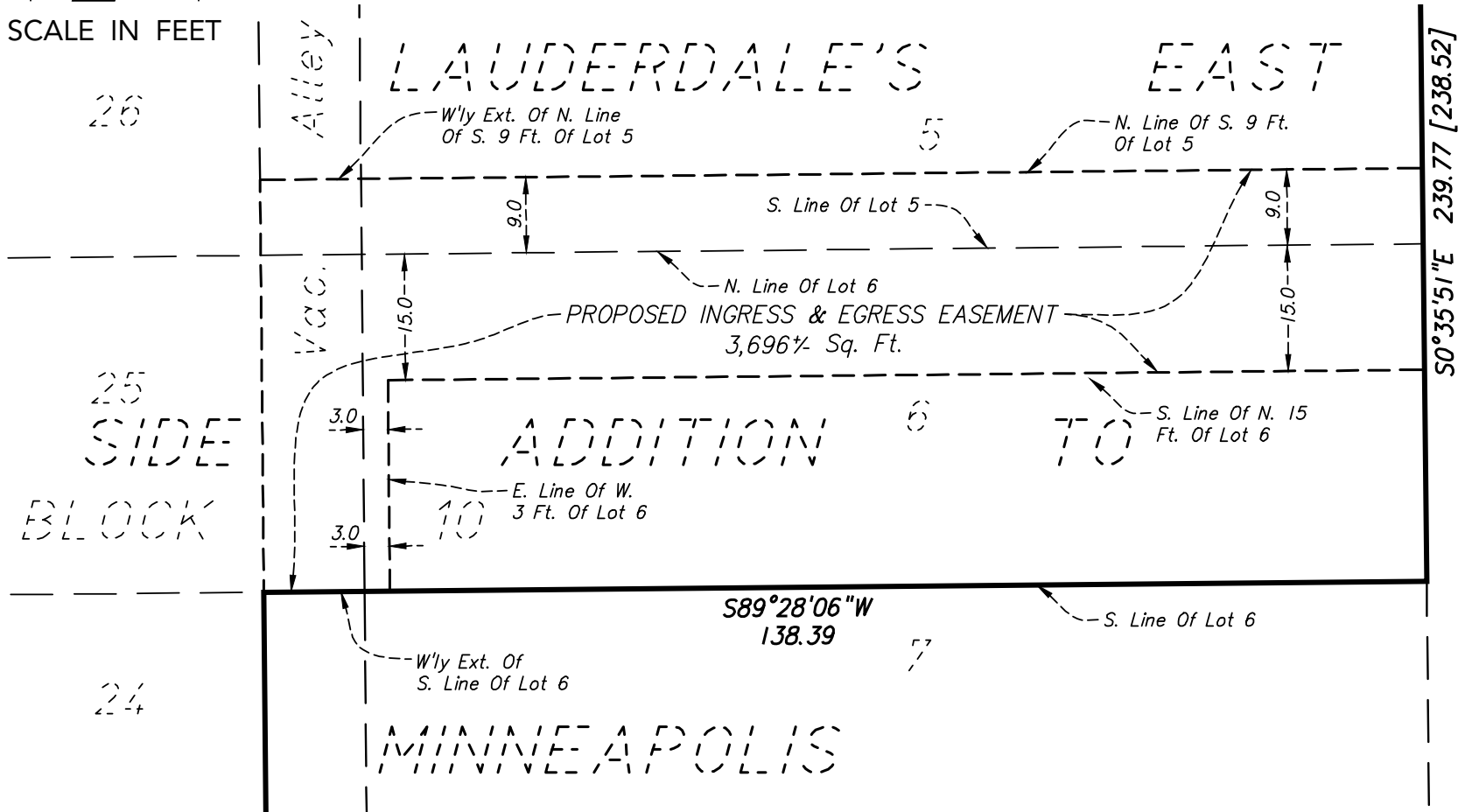
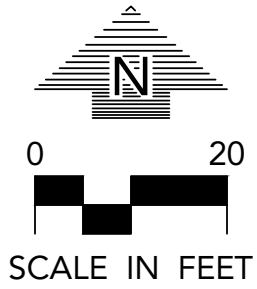
10/29/20

Date



LOUCKS
Loucks Project No. 18644

EXHIBIT



Eustis Street
(fka Oak Street)

W:\2018\18644\CADD DATA\SURVEY_dwg Sheet Files\18644-EXH_VAC

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Locks Project No. 18644